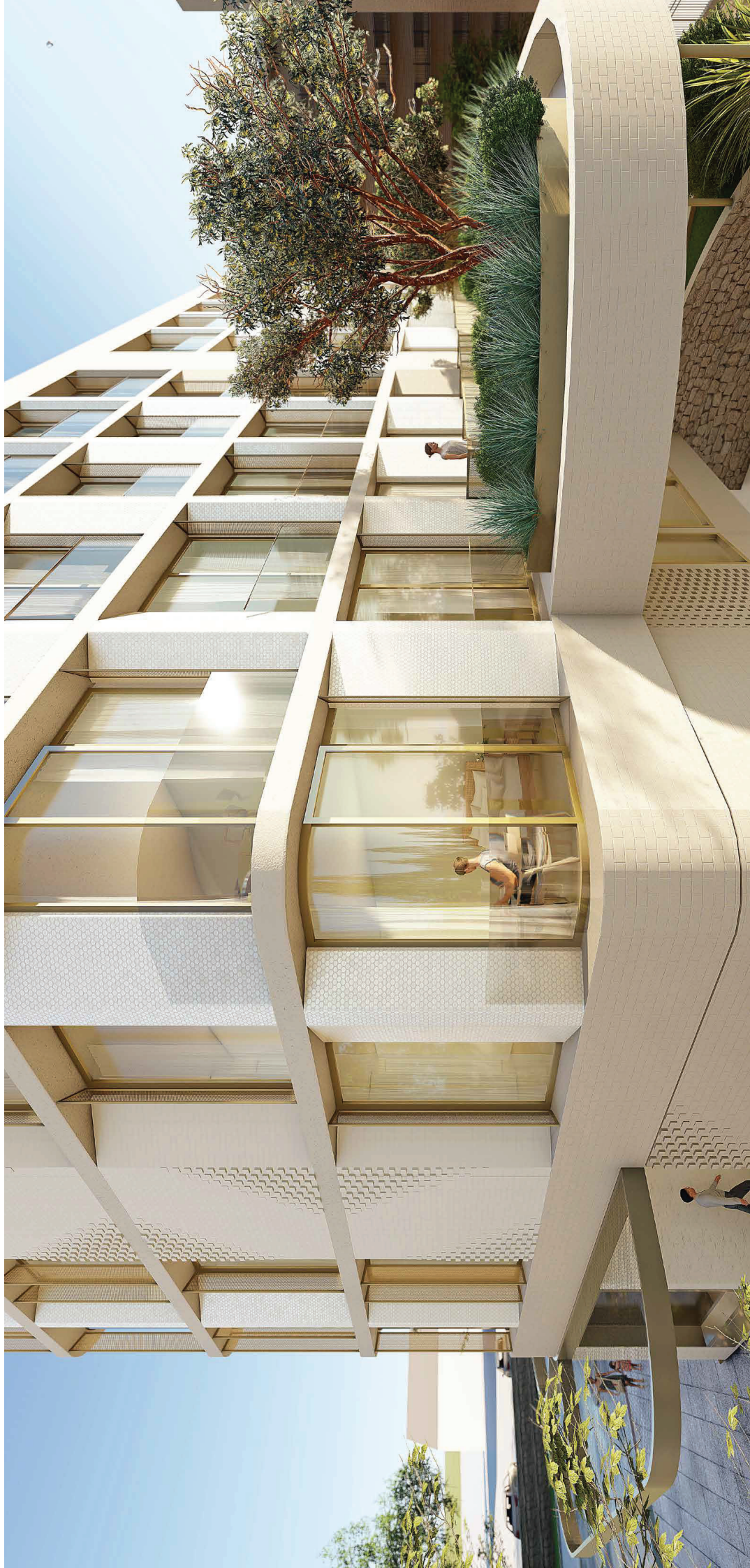
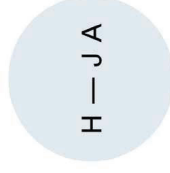


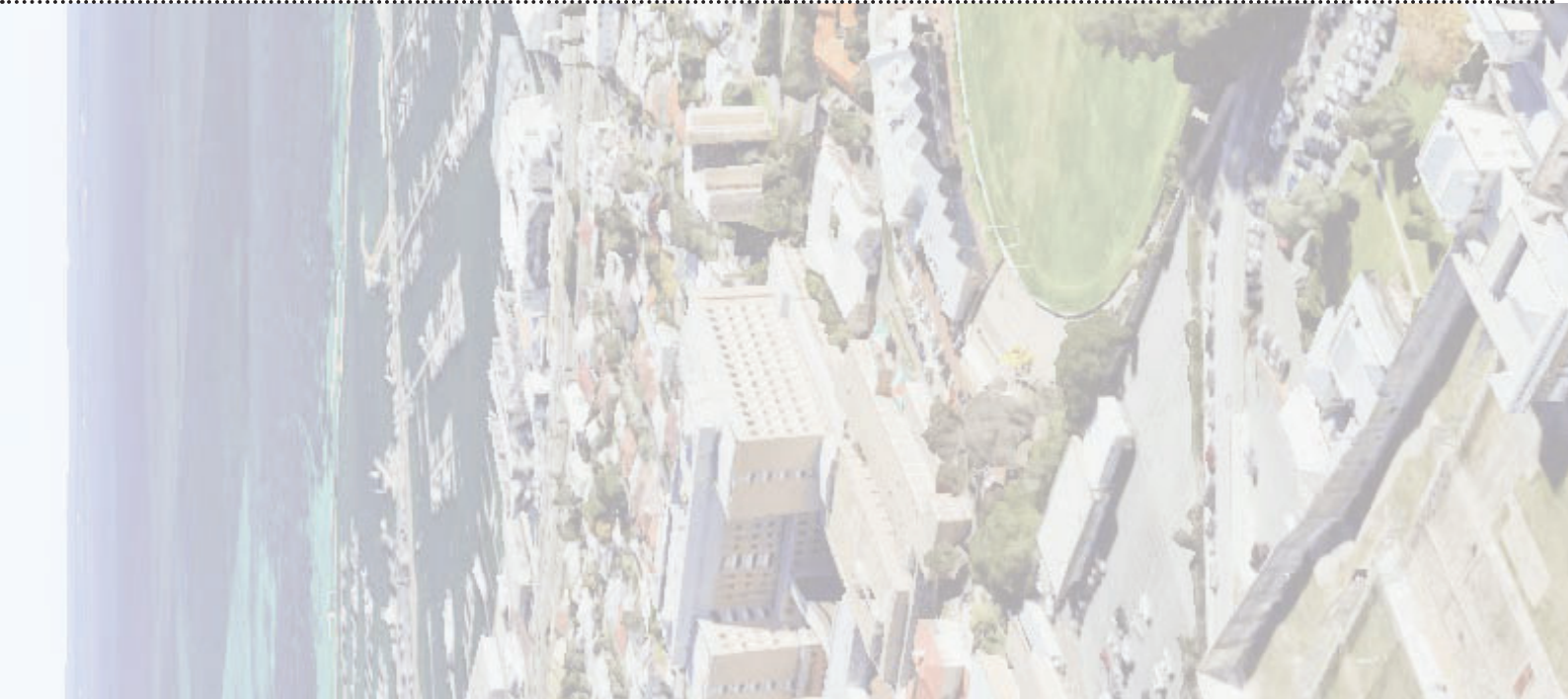


PROPOSED HOTEL DEVELOPMENT

65 South Street, Fremantle

Concept Document 11th February 2021





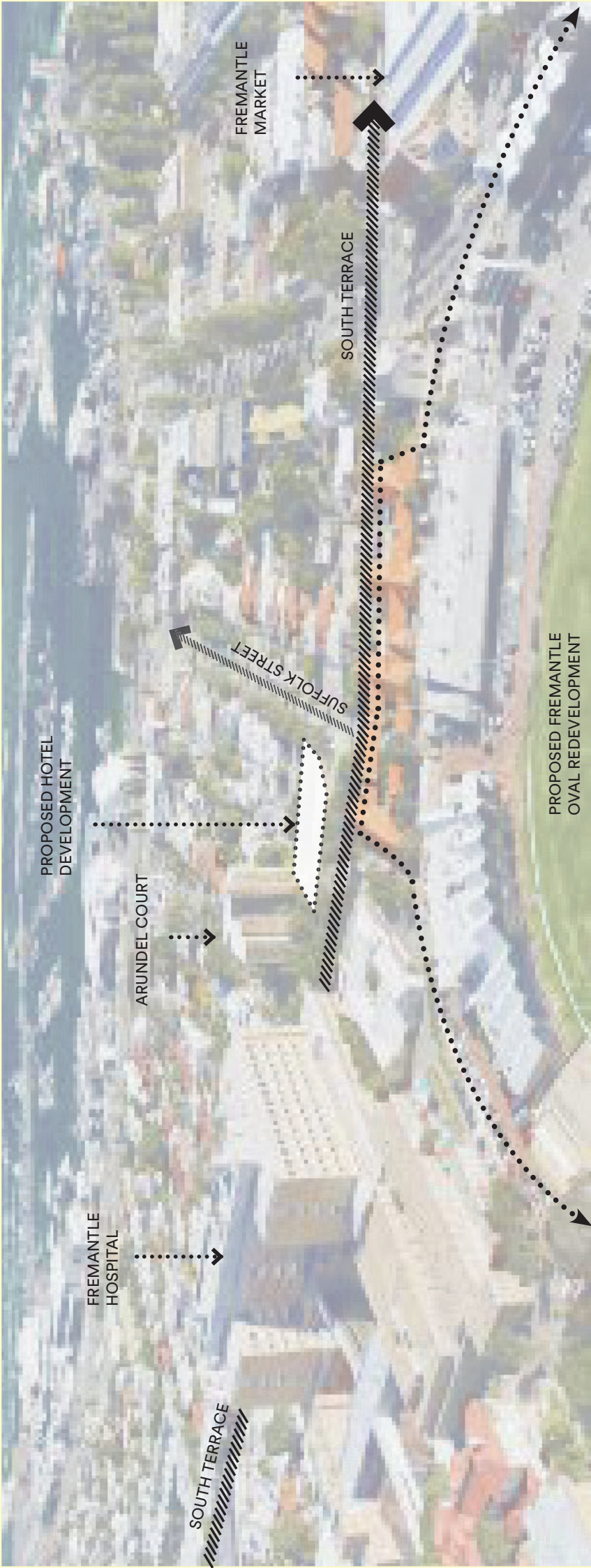
CONTENTS

SECTION 1	CONTEXT
SECTION 2	BUILT FORM AND SCALE
SECTION 3	BUILD QUALITY, AESTHETICS AND LEGIBILITY
SECTION 4	SUSTAINABILITY, AMENITY, SAFETY AND COMMUNITY

BRIEF

The proposed hotel includes the following:

- 100 hotel bedrooms
- 43 parking bays over 2 levels
- 14 bicycle bays
- Gym (for hotel guest use)
- 210sqm (approx) of office space
- 27sqm commercial unit
- 82sqm conference rooms
- 82 sqm bar / cafe



.....

The project sits within a future city centre node and presents an opportunity to complement the scale proposed for the Fremantle Oval redevelopment creating a gateway precinct between the Fremantle City Centre and South Fremantle.

The building seeks to resonate with a unique set of local Architectural circumstances the Fremantle Hospital and Arundel Court. It references these works in terms of scale and materiality but moves further into a finer grain and tactile reading of the wider commercial and residential surrounds.

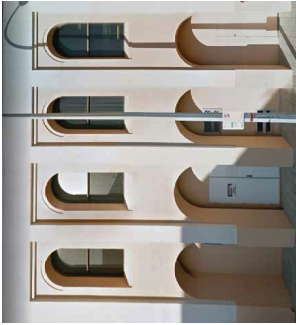


Fremantle Hospital looking South

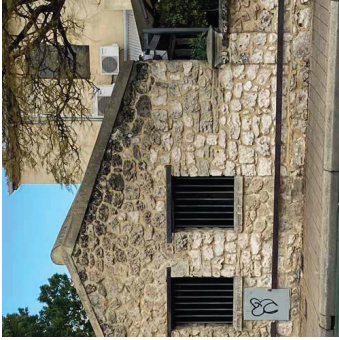


Arundel Court looking North

A contemporary reading of local context and built form character of Fremantle's commercial and residential centre has driven the conceptual approach to this project. As this has merged with the functional requirements of the project (we feel) it has become conceptually richer and diverse.

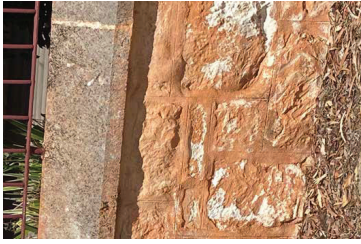


An overall restrained approach to the building design and material palette gestures towards a level of sophistication that represents the hotel brand and allows us to key in on a level of detail representative of many local buildings.



At a precinct scale the building desires to knit itself into an existing fabric becoming of its place.

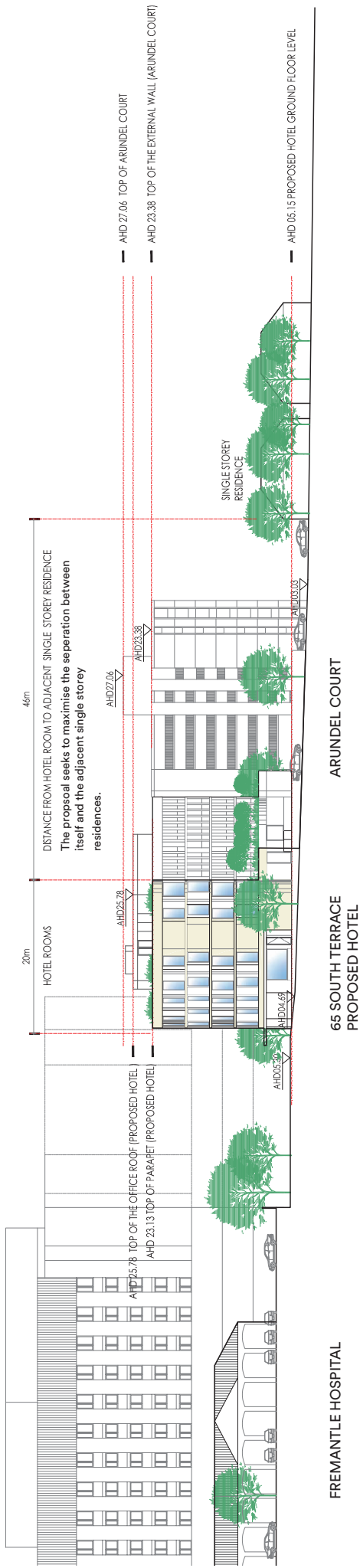
Local texture, form and scale



Finer grain moments from the residential surrounds



SOUTH TERRACE STREET ELEVATION
1:500



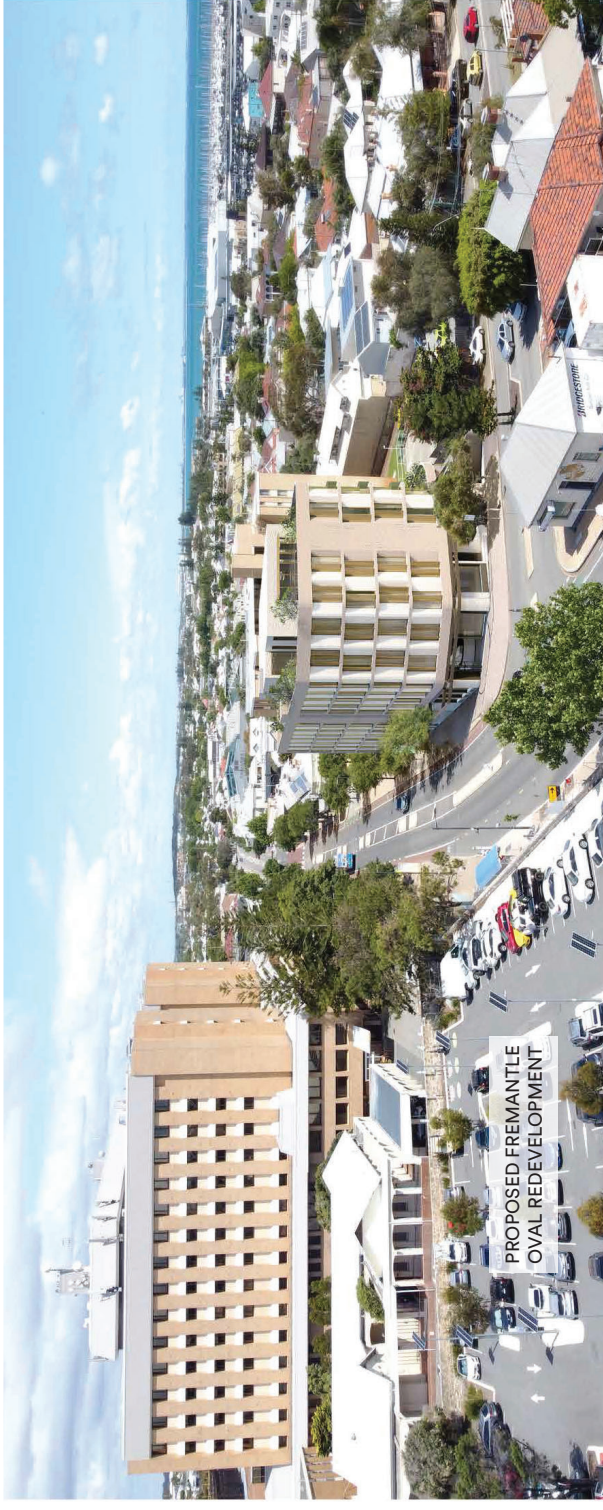
SUFFOLK STREET ELEVATION
1:500

The building consists of several active ground floor elements: commercial unit, hotel and office lobbies, and a café/bar. These elements are distinguished via awning and glazing treatments that are of a consistent Architectural language.

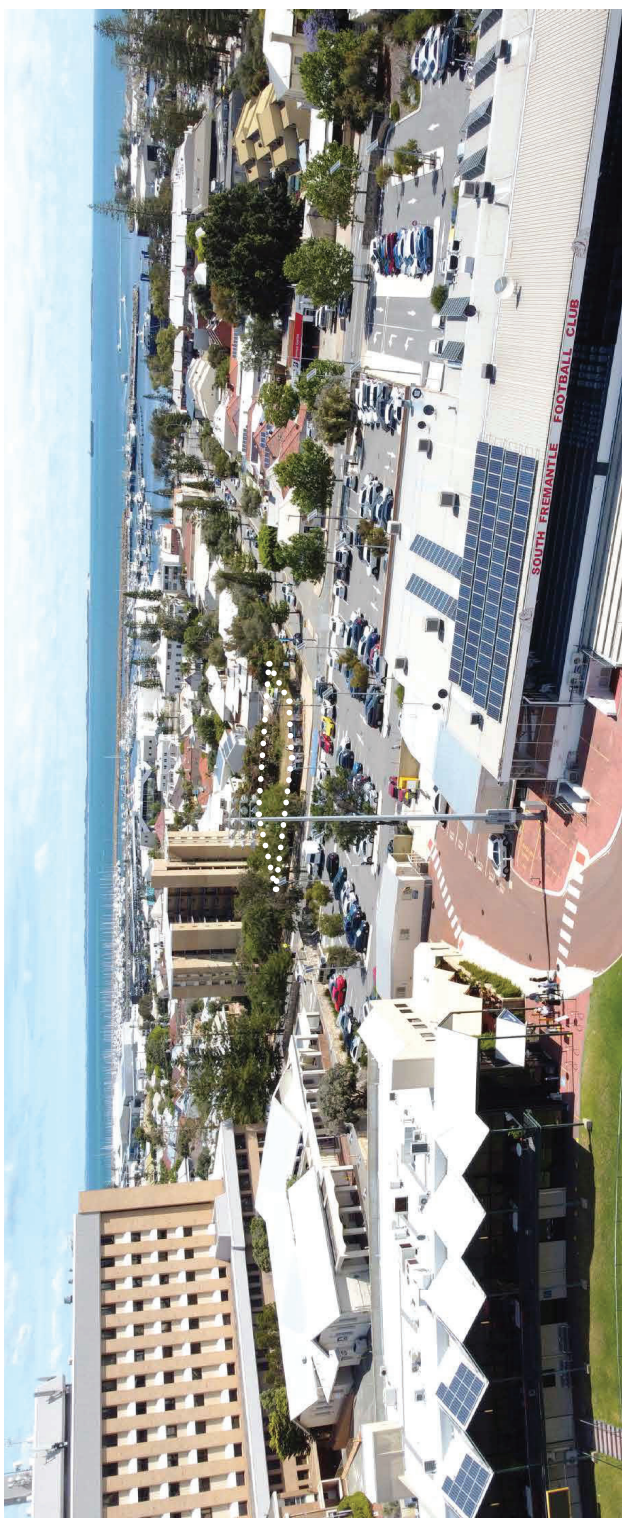
The building design takes advantage of the available views, its height and scale is appropriate for the corner site it occupies and becomes the 3rd building in the trio (Arundal Court and Fremantle Hospital) serving north / south gateway and node.



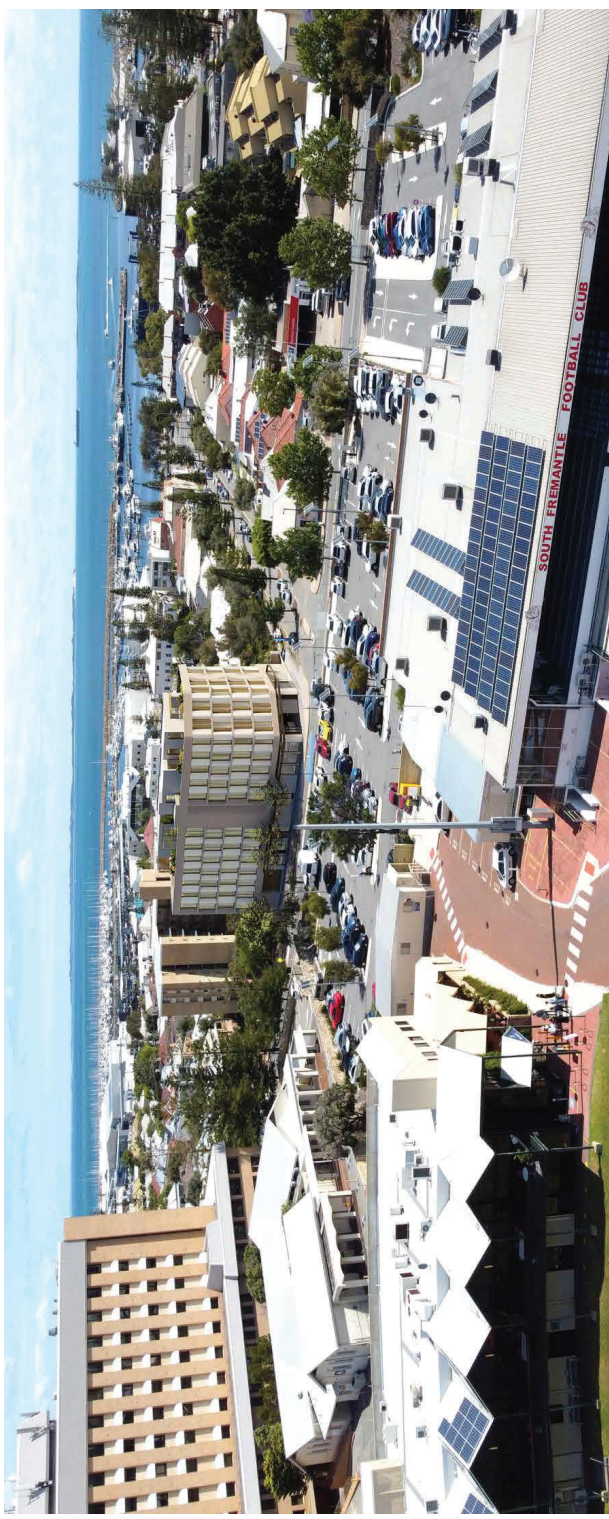
Aerial view of the Site looking South



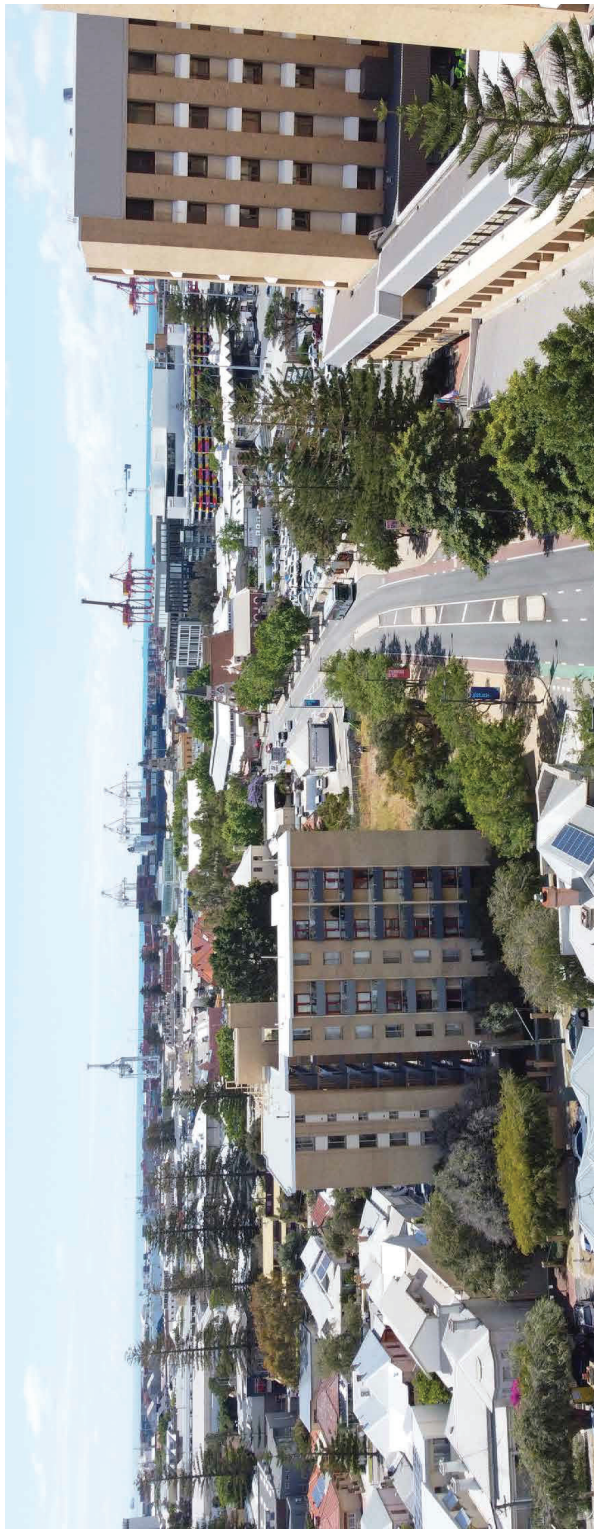
Aerial view of proposed development looking South



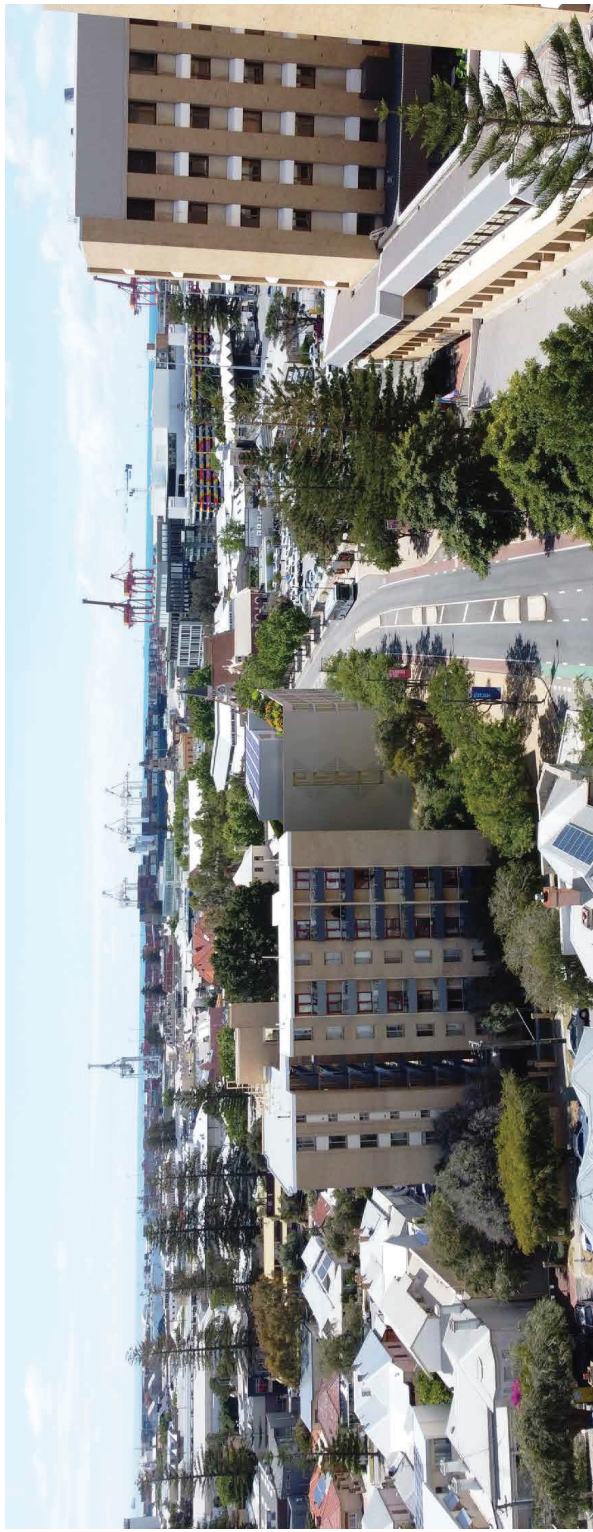
Aerial view of the Site looking West



Aerial view of proposed development looking West



Aerial view of the Site looking North

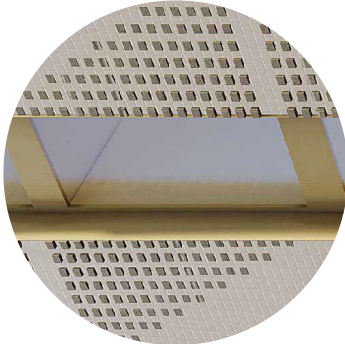


Aerial view of proposed development looking North

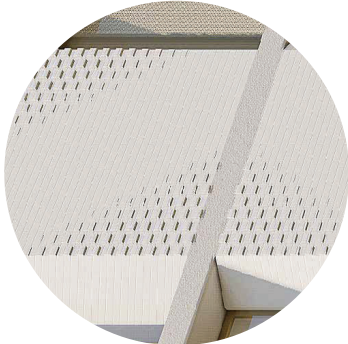


Elevation view of proposed development from South Terrace looking North

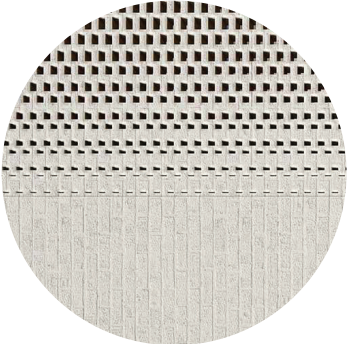
BRICKWORK DETAILS



Hotel passage



Patterned brick wall detail



Lift lobby brick screen detail

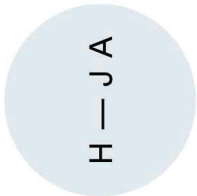
DAC COMMENT – CHARACTER

1. The southern elevation lacks the attention to its external treatment that the other facades receive. As this facade will be visible from the public realm a treatment, similar to the articulated and detailed nature of the other facades must be considered.

DPLH COMMENT

1. RESPONSE

1. Further articulation and design detail of the southern elevation to soften the visual impact of the proposed five storey boundary wall.
1. The south eastern corner of the building has been softened, hotel rooms at this end now have a southern looking vista. Similar patterned brick work details are employed around the hotel passage window. The same high quality brick is used on this wall. Please note that our understanding that as this is a boundary wall at some point in the future if the adjacent site is developed the south elevation may no longer be visible from the public realm.





Elevation view of proposed development from South Terrace

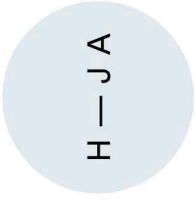
DPLH COMMENT

1. Further consideration should be given to the need for the South Terrace car park entrance, given it has a negative impact on ground floor activation and visual interest (blank walls and roller door), pedestrian amenity (crossover) and proposed removal of tree

RESPONSE

1. Due to the functional requirements of hotel operations a car park entry is required off South Tce. The roller door material and colour has been changed to reflect ground floor colour limed plaster.

Face brickwork, mosaic tiles and filigreed metal screening elements give a sense of detail and close up reading to the building that provide a human scale. The project recognizes the volatility of weathering on external building materials and the material selection seeks to address this via low maintenance and robust selections. Further, the building will offer an integrated building maintenance system that allows for routine façade maintenance.





Elevation view of proposed development from South Terrace looking South

: This corner site has been considered in terms of providing a landmark as well as giving a built form north / south gateway. Ground floor commercial activities offer a continuation the South Tce commercial strip linking to Wray Ave.

DAC COMMENT

1. Further consideration of the external treatments of the ground floor adjacent to both car parking areas will enhance the improved pedestrian level appearance.

RESPONSE

1. The ground floor materials along South Tce are consistent and allow space for the cafe / bar to project their own image. Awnings and street trees provide good shading. Existing limestone from the site will be re-used at the Suffolk St car park entry



Elevation view of proposed development from the corner of South terrace and Suffolk Street

DPLH COMMENT

1. Further consideration of ground floor activation of the northern elevation, providing visual connection from the conference to the street.

RESPONSE

1. A glazed wall has been added to the conference entry that provides the visual connection and gives further daylight penetration into the conference rooms.



DETAILS



Aluminium sunshade screen detail (single screen)



Aluminium sunshade screen detail (double screen)



Mosaic wall tiles



DETAILS



Curved corner windows
and slab detail



Glass Juliet balcony
(West elevation)

Elevation view of proposed development from Suffolk Street

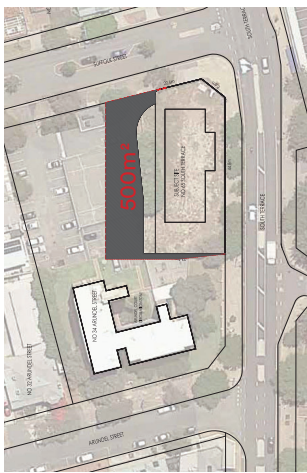
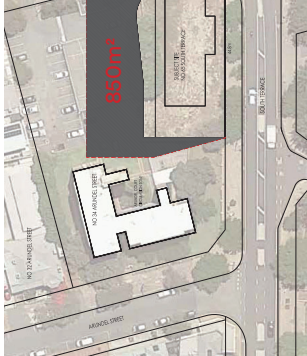
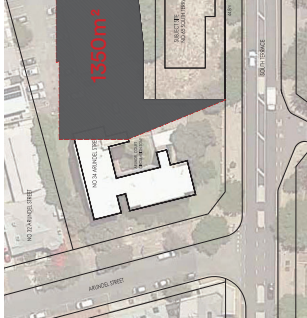
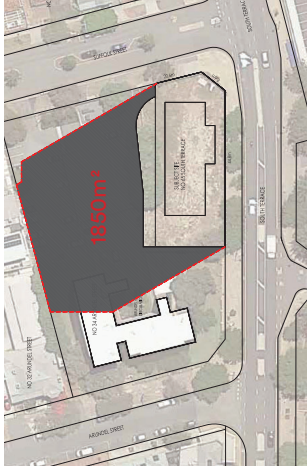
DAC COMMENT

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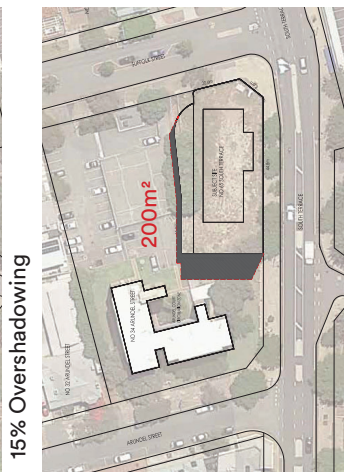
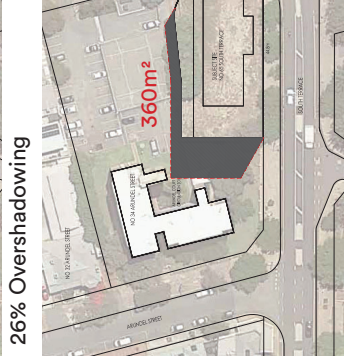
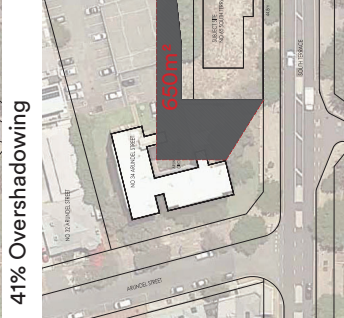
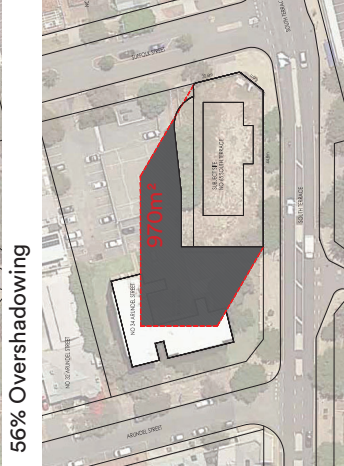
RESPONSE

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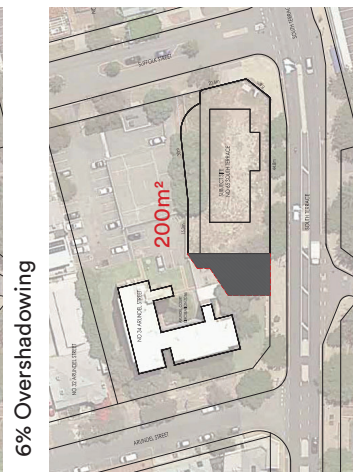
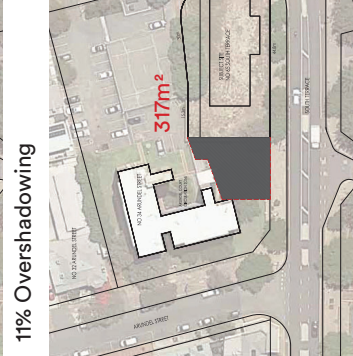
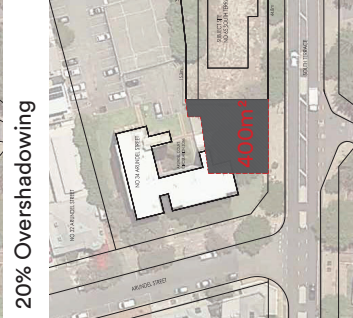
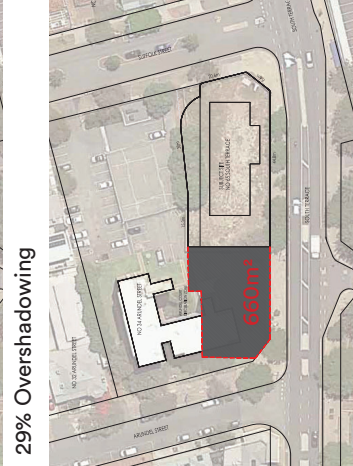
21 JUNE



22 AUGUST



22 SEPTEMBER



22 OCTOBER

20% Overshadowing
OVERSHADOWING DIAGRAMS
Neighbouring lot area 3311m²

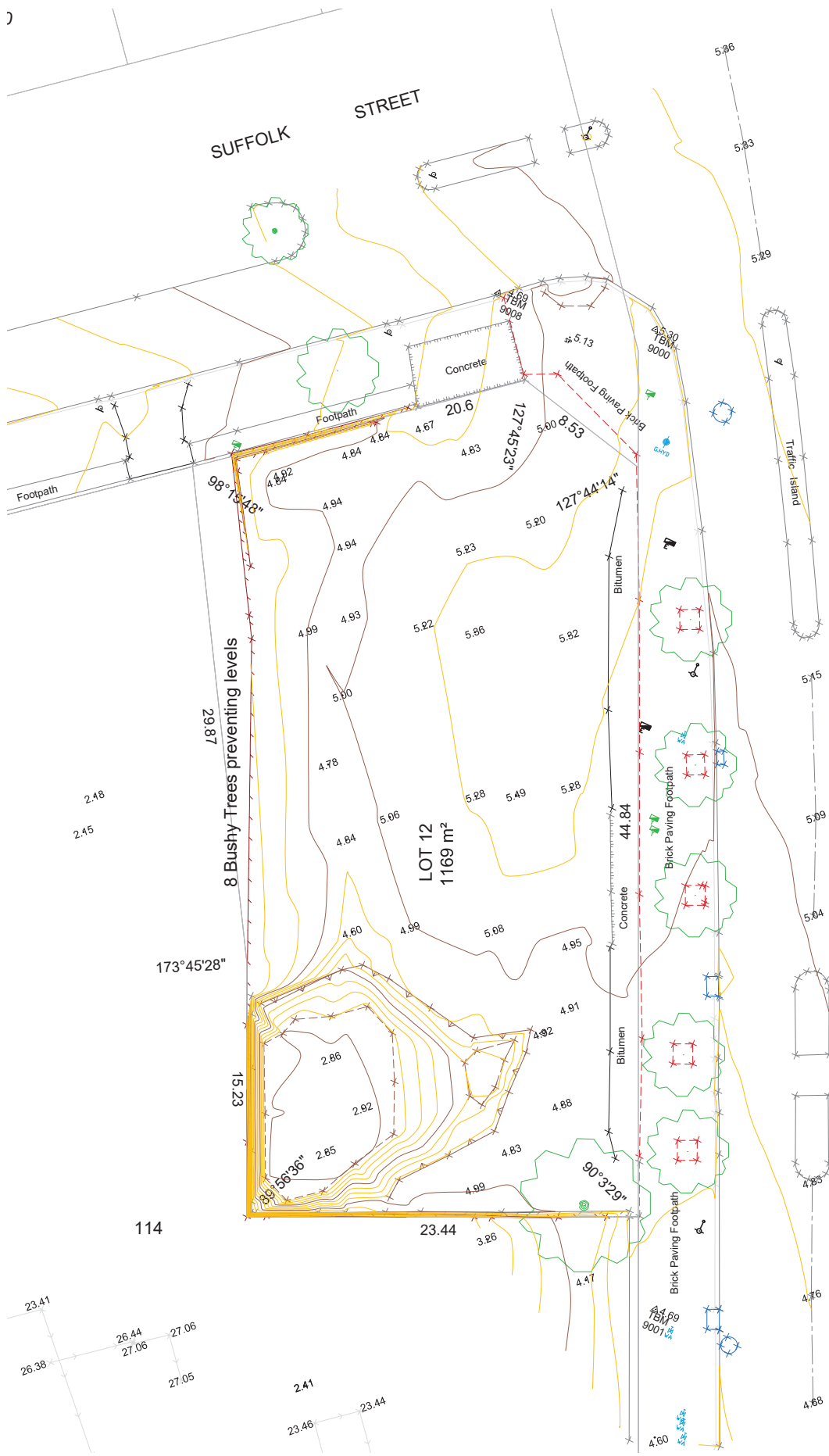
12% Overshadowing

10% Overshadowing

6% Overshadowing

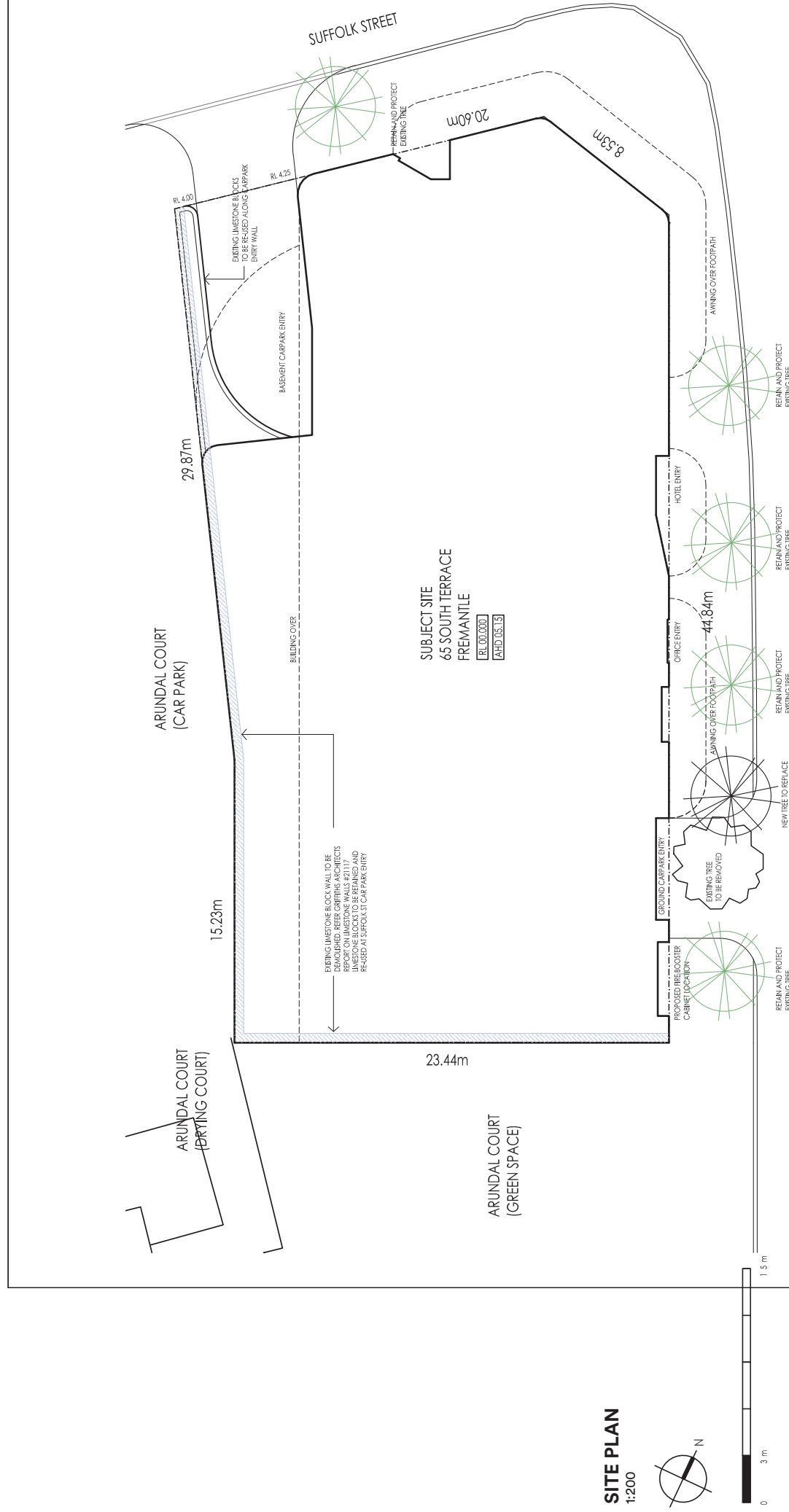


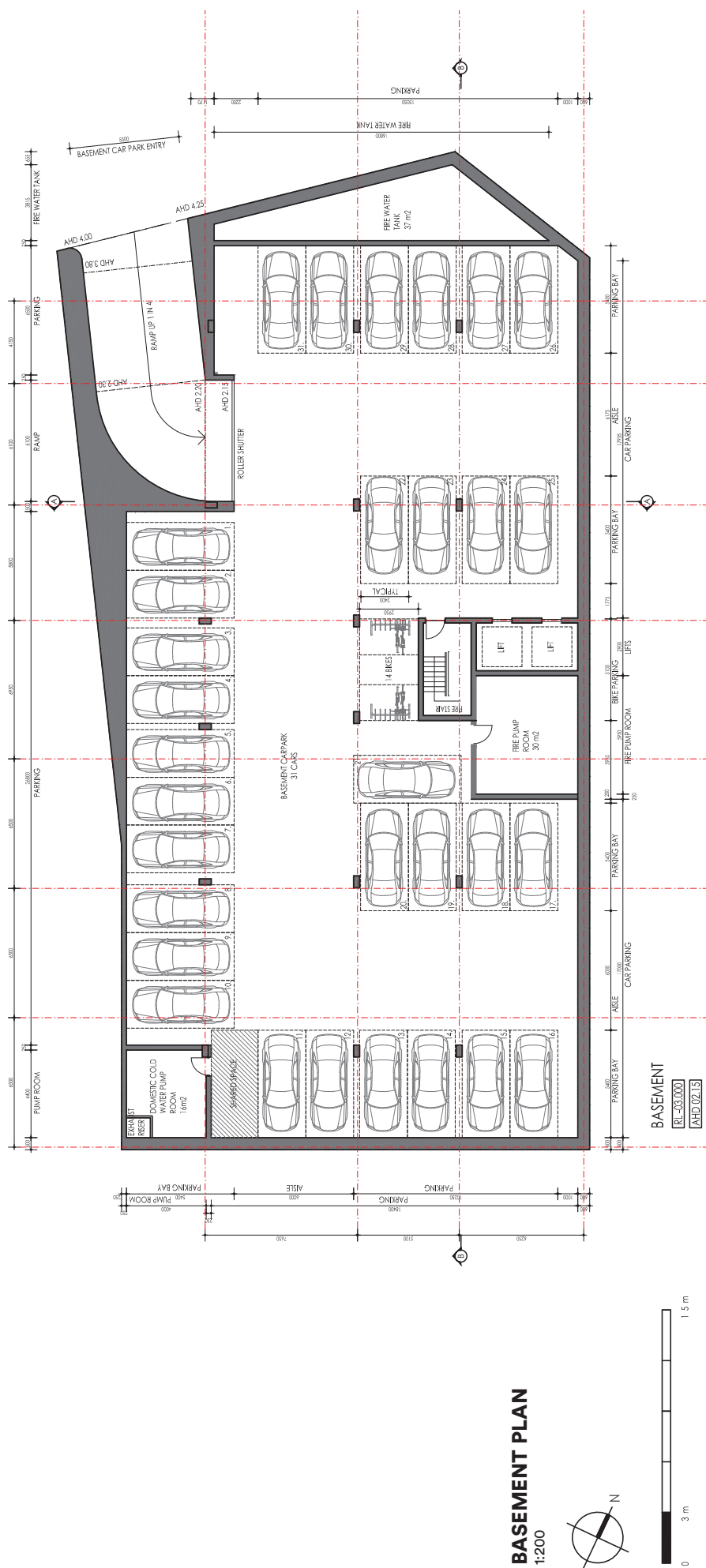
H — J A



SITE SURVEY
1:250

SOUTH
TERRACE





Public spaces within the building are clearly identified from the outside, and internal circulation allow for cross pollination between the hotel, café / bar and conference spaces. The ground floor corner of the building is open and activities within are on display to passing vehicle and foot traffic. The building will be accessible, and this will carry through to the hotel rooms.

The functional requirements of operating a Hotel, Commercial, Bar / Cafe building mean that a wide variety of employment, entertainment and commercial opportunities will exist.



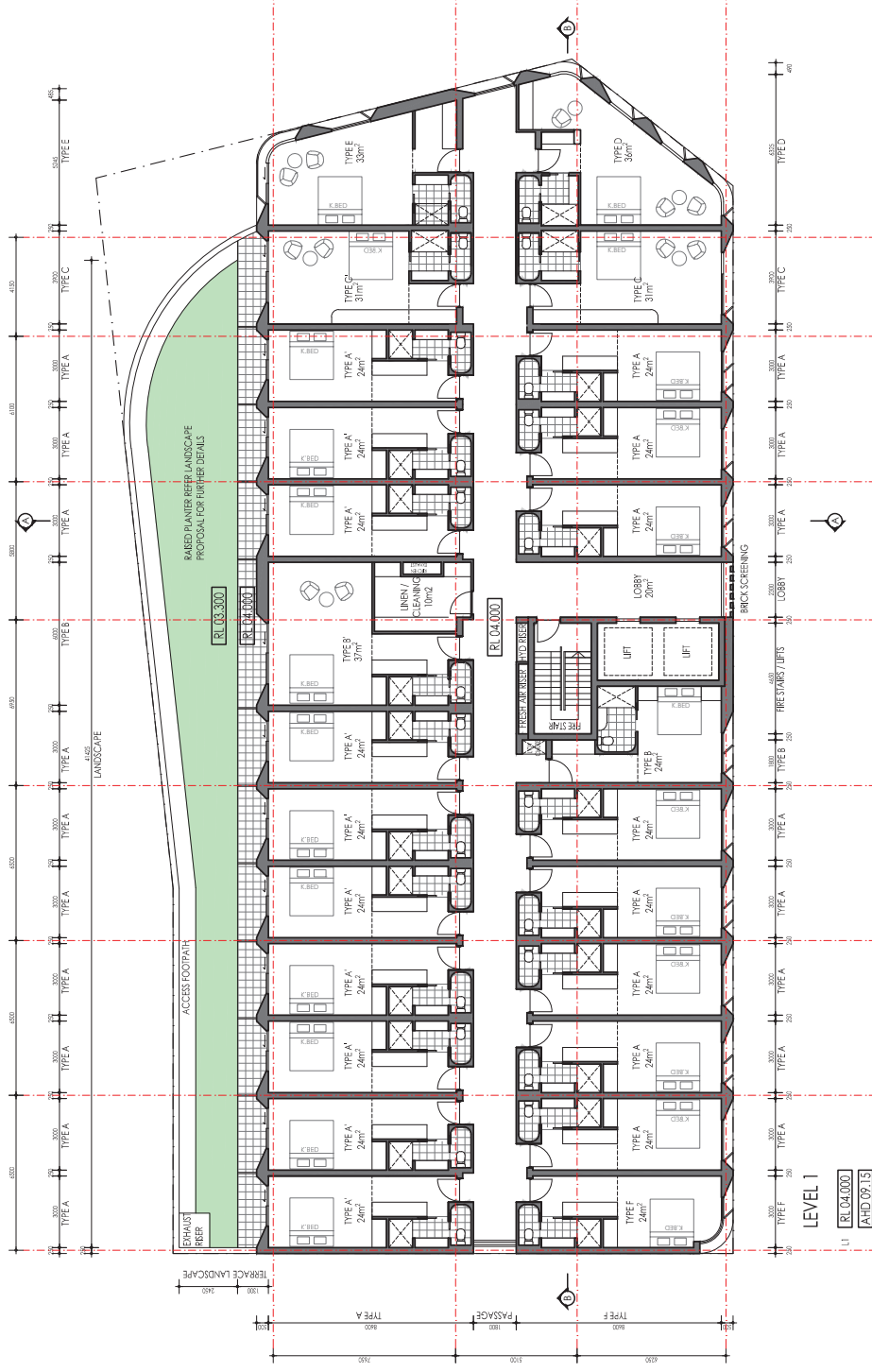
The hotel operator requires that public access ways to rooms are to be accessible, however, it is not part of this hotel operators' requirements to provide accessible rooms. Room types B, D and E could, however, be retrofitted with relative ease to become accessible rooms.

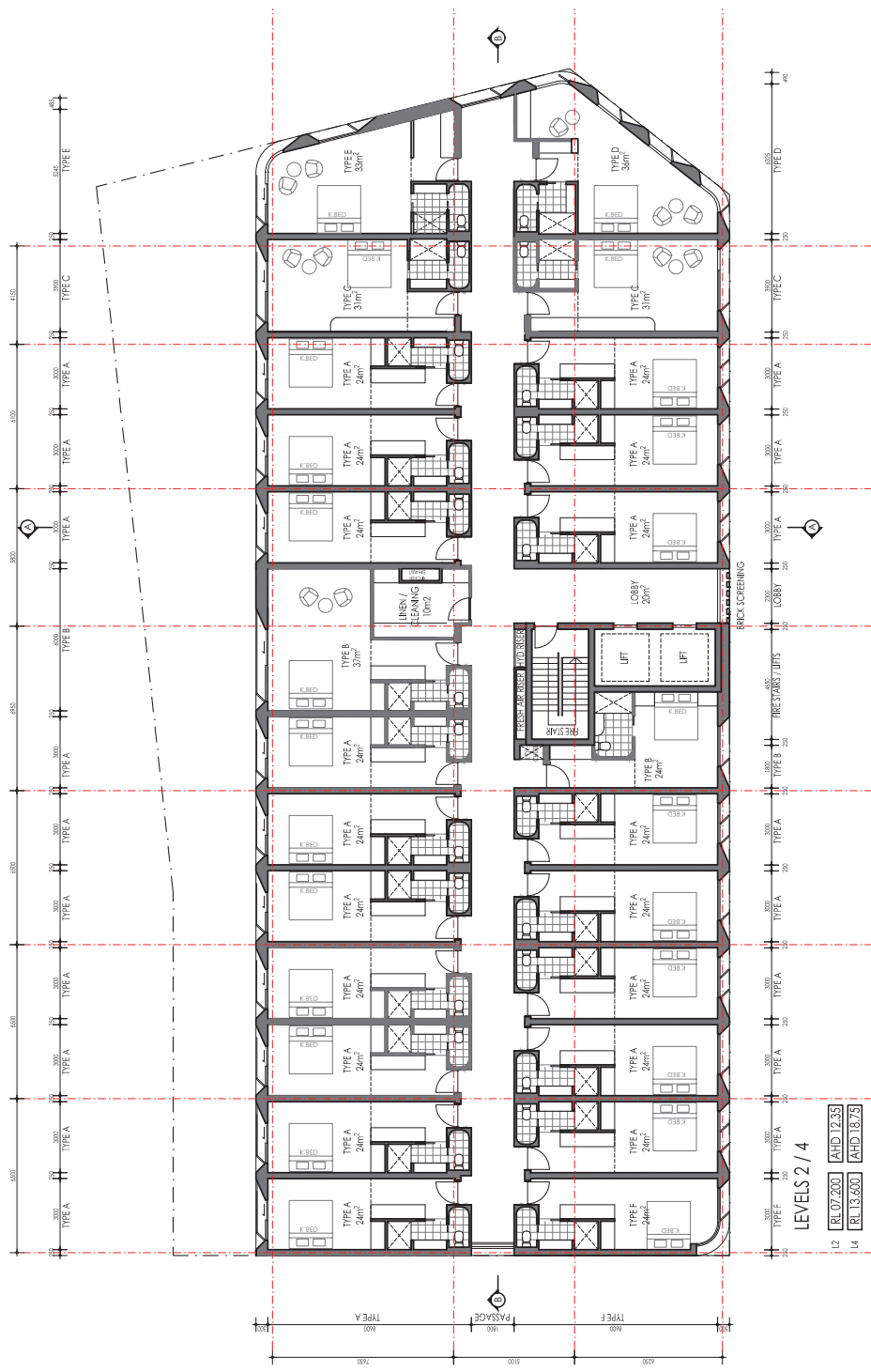
Hotel lobby areas of each floor provide a visual connection to South Tce, hotel passage ways are cross ventilated, rooms have discreet access off this passage and daylight penetration is taken to its full potential in each room. All hotel rooms will feature openable louvre style windows or sliding glass doors.

The functional nature of hotel accommodation allows for a range of future dwelling style uses; commercial provisions, such as a grease arrestors, a vertical kitchen exhaust and office space give further flexibility to the type of commercial venture that could be operated.

FIRST FLOOR PLAN

1:200





SECOND / FOURTH FLOOR PLAN
1:200



LEVELS 2 / 4

12	R.10.200	AHD 12.35
14	R.13.600	AHD 18.73





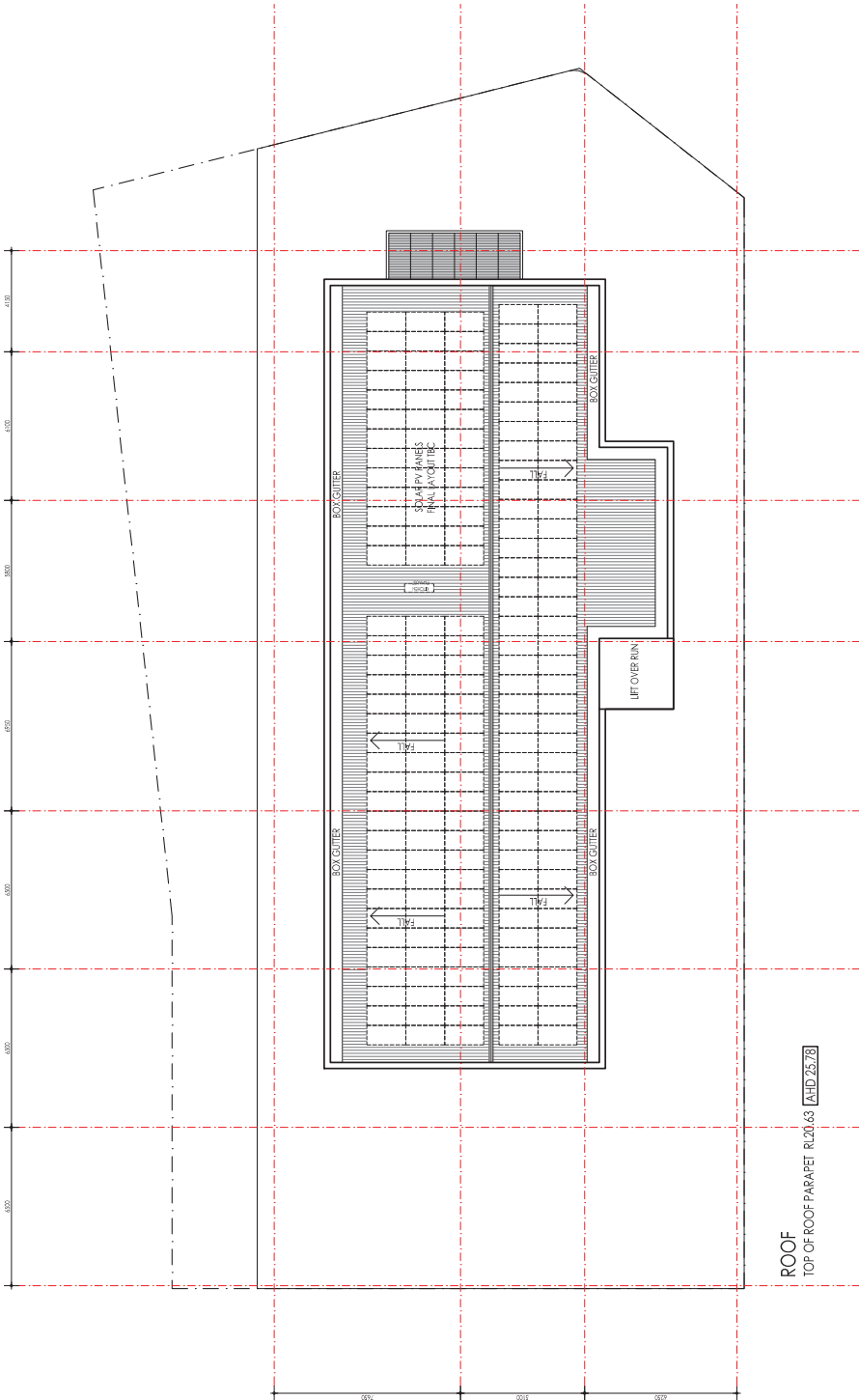
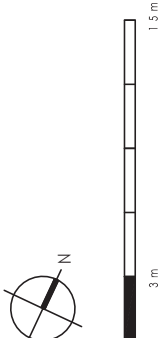
Particular attention is paid to the electrical, hydraulic and mechanical services to underpin the engineering approach to sustainability.

Mechanically the project will utilize a central fresh air pre-conditioning unit which uses heat reclaimed from the toilet exhaust stream to pre-heat or pre-cool the fresh air stream entering each hotel suite and heat recovery air conditioning systems which can use waste heat from rooms which require cooling, to heat other areas of the hotel.

Hydraulically, the hot water plant will be a 6 star rated gas fired centralized system. Fixtures inside the building will also be a minimum of 6 star wels rated.

Solar PV panels will generate up to 40kW of electricity.

ROOF PLAN
1:200



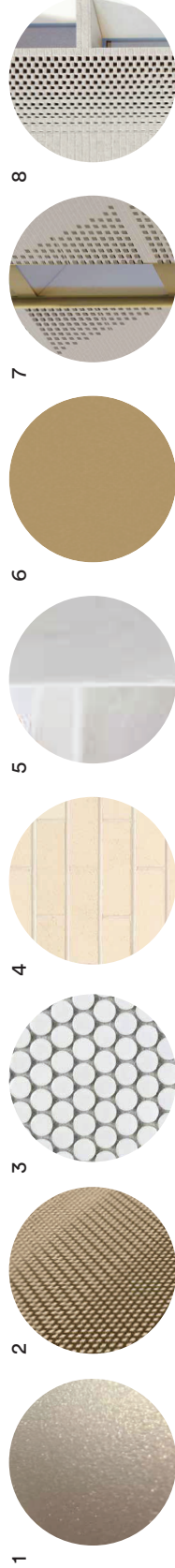
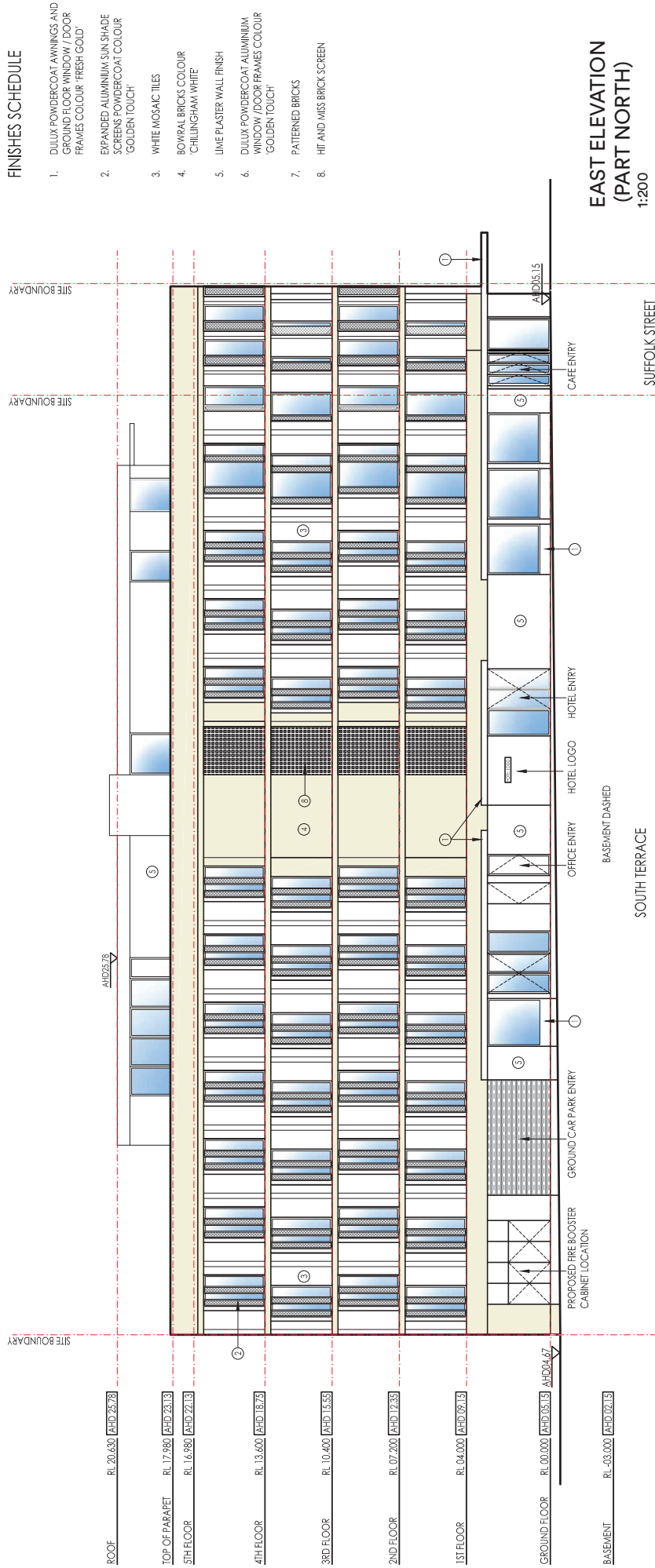
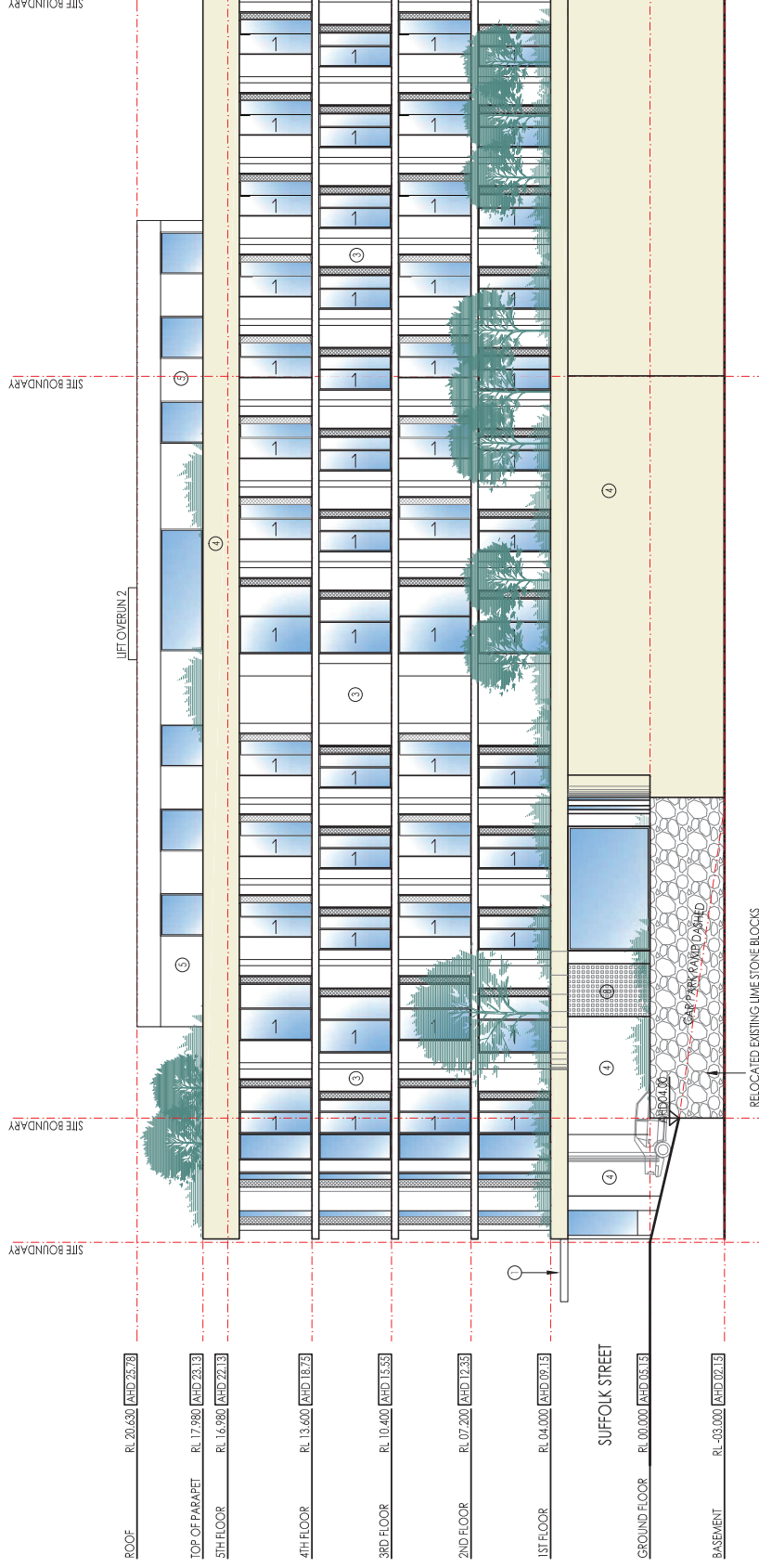
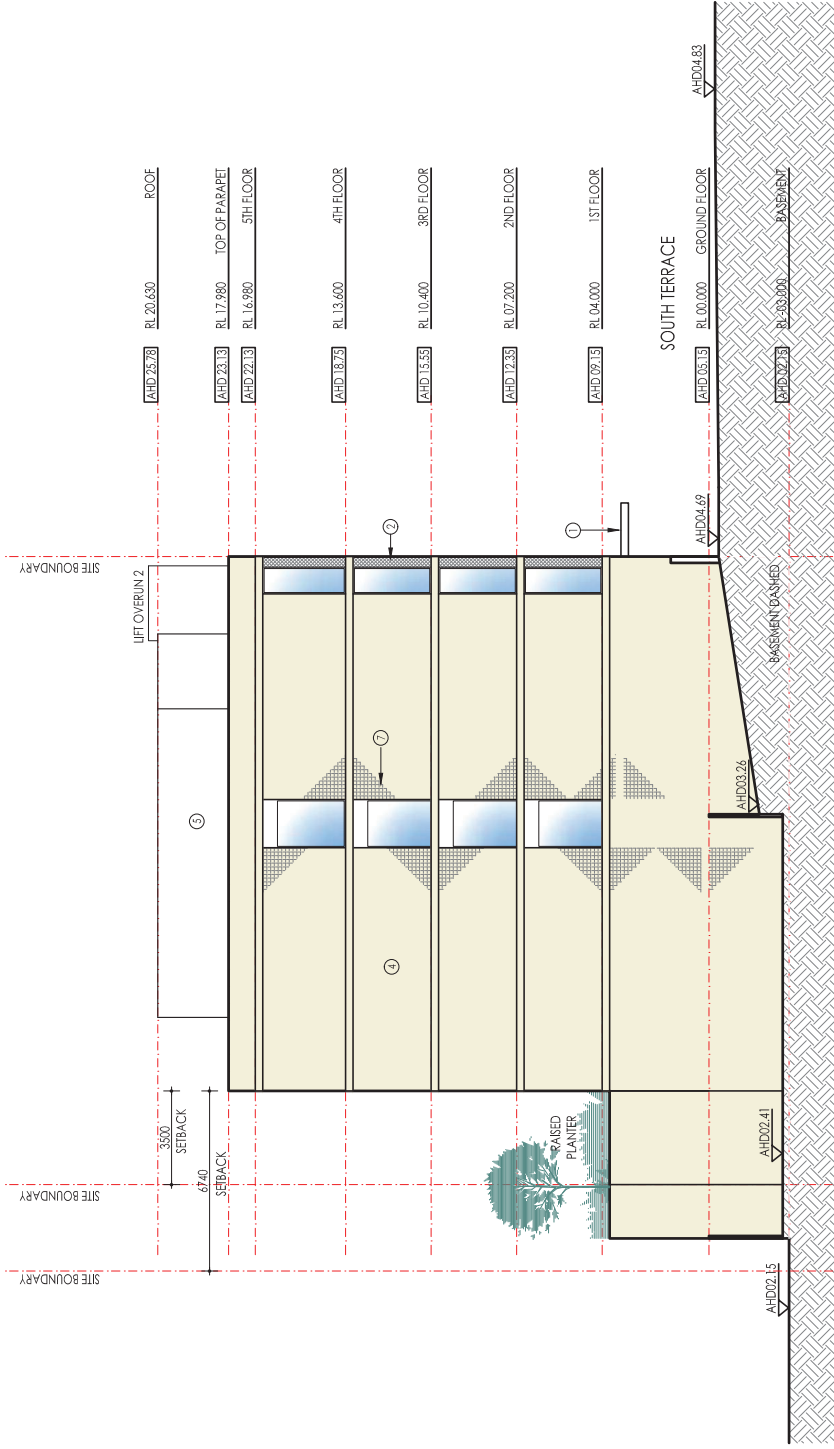


Figure 1 displays eight circular panels, each showing a different wall texture or material. The panels are labeled 1 through 8, corresponding to the numbered circles in the text. Panel 1 shows a smooth, light-colored surface. Panel 2 shows a dark, textured surface with a grid-like pattern. Panel 3 shows a light-colored surface with a grid-like pattern. Panel 4 shows a light-colored surface with a grid-like pattern. Panel 5 shows a light-colored surface with a grid-like pattern. Panel 6 shows a light-colored surface with a grid-like pattern. Panel 7 shows a light-colored surface with a grid-like pattern. Panel 8 shows a light-colored surface with a grid-like pattern.

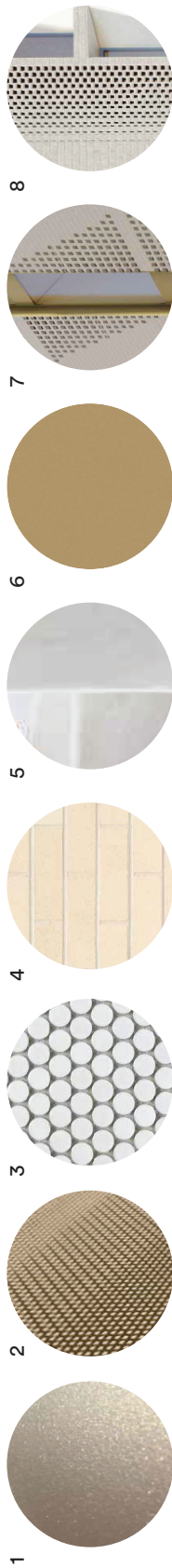




FINISHES SCHEDULE

1. DULUX POWDERCOAT AWNINGS AND GROUND FLOOR WINDOW / DOOR FRAMES COLOUR 'FRESH GOLD'
2. EXPANDED ALUMINIUM SUN SHADE SCREENS POWDERCOAT COLOUR 'GOLDEN TOUCH'
3. WHITE MOSAIC TILES
4. BOWRAL BRICKS COLOUR 'CHILTINGHAM WHITE'
5. LINE PLASTER WALL FINISH
6. DULUX POWDERCOAT ALUMINIUM WINDOW / DOOR FRAMES COLOUR 'GOLDEN TOUCH'
7. PATTERNED BRICKS
8. HT AND MISS BRICK SCREEN

SOUTH ELEVATION
1:200





RESPONSE: Each hotel Floor to Floor level has been riased by 100mm (to 3.2m), in addition a further 400mm services zone has been provided on level 5 to assist with the collection of services prior to roof penetration.

