

Drawing List

DA0000 Legend

DA0001 Legend

DA1000 Site Plan / Site Analysis

DA1001 Site Plan

DA2000 Floor Plans

DA2001 Basement 4
DA2002 Basement 3
DA2003 Basement 2
DA2004 Basement 1
DA2005 Ground Floor
DA2006 Mezzanine 1
DA2007 Level 1
DA2008 Mezzanine 2
DA2009 Level 2
DA2010 Level 3-9
DA2011 Levels 10-15
DA2012 Levels 16
DA2013 Plant
DA2014 Roof Plan

DA3000 Elevations

DA3001 Elevation 1
DA3002 Elevation 2
DA3003 Elevation 3
DA3004 Elevation 4
DA3005 Elevation 5

DA4000 Sections

DA4001 Section A-A
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DA5000 Cross Ventilation & Solar Study

DA5001 Levels 3-9 & 10-15 Natural Ventilation Diagram
DA5002 Level 16 Natural Ventilation Diagram
DA5003 Levels 3-9 & 10-15 Solar & Daylight Access
DA5004 Level 16 Solar & Daylight Access

DA6000 Shadow Analysis

DA6001 Shadow Analysis

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

ARCHITECTURAL LEGEND:

	ELEVATION REFERENCE (REFER A3 SERIES)
	SECTION REFERENCE (REFER A4 SERIES)
	+00.000 REDUCED LEVEL
	SERVICES / FACILITIES
	VEHICULAR CIRCULATION
	RETAIL / F & B
	RESIDENT COMMUNAL
	COMMERCIAL
	1 BED + 1 BATH
	2 BED + 2 BATH
	3 BED + 2 BATH
	PENTHOUSE
	BALCONY / STORE
	LANDSCAPE
	POOL

ABBREVIATIONS:

SRZ	STRUCTURAL ROOT ZONE
TPZ	TREE PROTECTION ZONE
G	GENERAL WASTE BIN
R	RECYCLE BIN
RL	REDUCED LEVEL
UAT	UNIVERSAL ACCESS TOILET

FACADE LEGEND:

FT01	FACADE TYPE 1: RESIDENTIAL TOWER FACADE SYSTEM: STANDARD UNITISED CURTAIN WALL/ WINDOW WALL GLAZED SYSTEM. THE FACADE CONSISTS OF STRAIGHT AND CURVED PANELS. DOUBLE GLAZED UNITS: LIGHTLY TINTED GOLD-BRONZE, LOW-E COATED. FRAMING FINISH: POWDERCOAT (GOLD-BRONZE) HORIZONTAL SHADING/ BANDING: GOLD-BRONZE ALUMINIUM FIXED LOUVRE/ EXTRUSION. OPERABLE WINDOWS: ALUMINIUM FRAMED AWNING WINDOWS EXTERNAL WALLS: GOLD-BRONZE PROFILED CLADDING GRILLES: HIGHLIGHT INFILL LOUVERS (HORIZONTAL). GOLD-BRONZE FINISH.
FT02	FACADE TYPE 2: RESIDENTIAL BALCONY SYSTEM: STANDARD ALUMINIUM FRAMED GLAZING SYSTEM DOUBLE GLAZED UNITS: LIGHTLY TINTED GREY, LOW-E COATED. FRAMING FINISH: POWDERCOAT (GOLD-BRONZE) OPERABLE WINDOWS: ALUMINIUM FRAMED AWNING WINDOWS BALUSTRADE: CLEAR/ LIGHTLY TINTED GOLD-BRONZE, FRAMELESS GLASS BALUSTRADE WITH SLIM PROFILE TOP RAIL. WIND MITIGATION SCREEN: LIGHTLY TINTED GOLD-BRONZE GLAZING. PRIVACY SCREEN: METALLIC GOLD-BRONZE BATTEN OVER WIND MITIGATION SCREENS. BATTENS ON EXTERNAL FACE, GLAZING INTERNAL FACE.
FT03	FACADE TYPE 3: SHADOW GAP FACADE SYSTEM: DARK GREY PANELS DOUBLE GLAZED UNITS: DARK TINT DARK-GREY, LOW-E COATED. FRAMING FINISH: POWDERCOAT (DARK-GREY)
FT04	FACADE TYPE 4: GREEN SEAM SYSTEM: DARK GREY PANELS DOUBLE GLAZED UNITS: DARK TINT DARK-GREY, LOW-E COATED. FRAMING FINISH: POWDERCOAT (DARK-GREY) SPANDREL: INTEGRATED PLANTERS IN FORMED CONCRETE OR GRC. VERTICAL GARDEN: TENSILE TRELLIS SYSTEM CONSISTING OF VERTICAL STAINLESS STEEL CABLES (SINGLE ROPES).

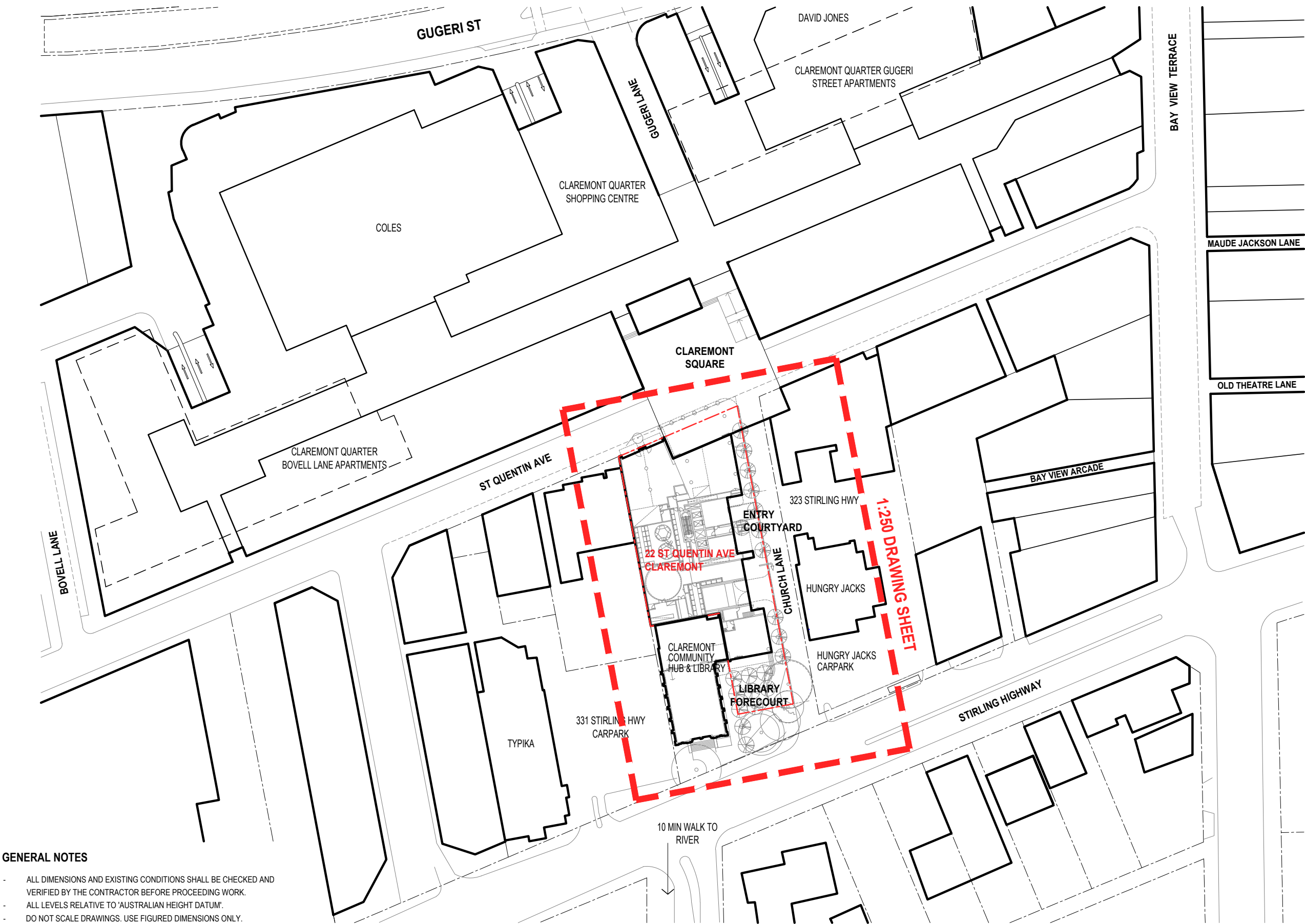
FT05	FACADE TYPE 5: PODIUM TERRACE FACADE SYSTEM: STANDARD ALUMINIUM FRAMED GLAZING SYSTEM EXTERNAL GLASS: CLEAR/ LIGHTLY GREY TINTED LOW-E COATED GLAZING FRAMING FINISH: POWDERCOAT (GOLD-BRONZE) OPERABLE WINDOWS: ALUMINIUM FRAMED AWNING WINDOWS
FT06	FACADE TYPE 6: WESTERN PODIUM FAÇADE (BOUNDARY) SYSTEM: PRECAST CONCRETE PANELS WITH GRAPHIC PATTEN RELIEF (RECESSES). THE RECESS SELF-SHADE THE FAÇADE WHICH REDUCES THE TEMPERATURE OF THE SURFACE EXPOSED TO DIRECT SUNLIGHT, THEREBY REDUCING THE AMOUNT OF HEAT TRANSMITTED THROUGH THEM. MATERIAL: TINTED, EXPOSED AGGREGATE AND PAINTED PRECAST CONCRETE PANELS. STRUCTURED CONCRETE PATTERNS ARE PRODUCED USING ELASTIC STRUCTURE FORMLINERS BY RECKLI OR SIMILAR.
FT07	FACADE TYPE 7: COMMERCIAL LEVEL FACADES CLADDING: SANDSTONE (ROUGH CUT AND HONED), GLASS REINFORCED CONCRETE (GRC) CLADDING PANELS OR SIMILAR (SANDSTONE) WITH TRAVERTINE DETAILING. GLAZING SYSTEM: STANDARD ALUMINIUM FRAMED GLAZING SYSTEM EXTERNAL GLASS: CLEAR/ LIGHTLY GREY TINTED LOW-E COATED GLAZING FRAMING FINISH: POWDERCOAT / ANODISED (GOLD-BRONZE) OPERABLE WINDOWS: ALUMINIUM FRAMED AWNING WINDOWS SUNSHADING DEVICES: HORIZONTAL ALUMINIUM LOUVRE SYSTEM. POWDERCOAT OR ANODISED (GOLD-BRONZE) ARCHITECTURAL FRAMING (OF SUNSHADE INFILL): ALUMINIUM EXTRUSION POWDERCOATED (GOLD-BRONZE)
FT08	FACADE TYPE 8: GROUND LEVEL FACADES CLADDING: SANDSTONE (ROUGH CUT AND HONED), GLASS REINFORCED CONCRETE (GRC) CLADDING PANELS OR SIMILAR (SANDSTONE) WITH TRAVERTINE DETAILING. GLAZING SYSTEM: STANDARD ALUMINIUM FRAMED GLAZING SYSTEM EXTERNAL GLASS: CLEAR/ LIGHTLY GREY TINTED LOW-E COATED GLAZING FRAMING FINISH: POWDERCOAT/ ANODISED (GOLD-BRONZE) AWNINGS: POWDERCOAT/ ANODISED (GOLD-BRONZE). LOCATION- ST QUENTINS AVENUE ONLY.
FT09	FACADE TYPE 9: VEHICULAR ENTRY GATES AND SURROUNDS SCREEN SYSTEM: ALUMINIUM EXTRUSIONS/ BATTENS (RECTANGULAR AND SQUARE PROFILES). VERTICAL CONFIGURATION. FRAMING FINISH: POWDERCOAT/ ANODISED (GOLD-BRONZE)

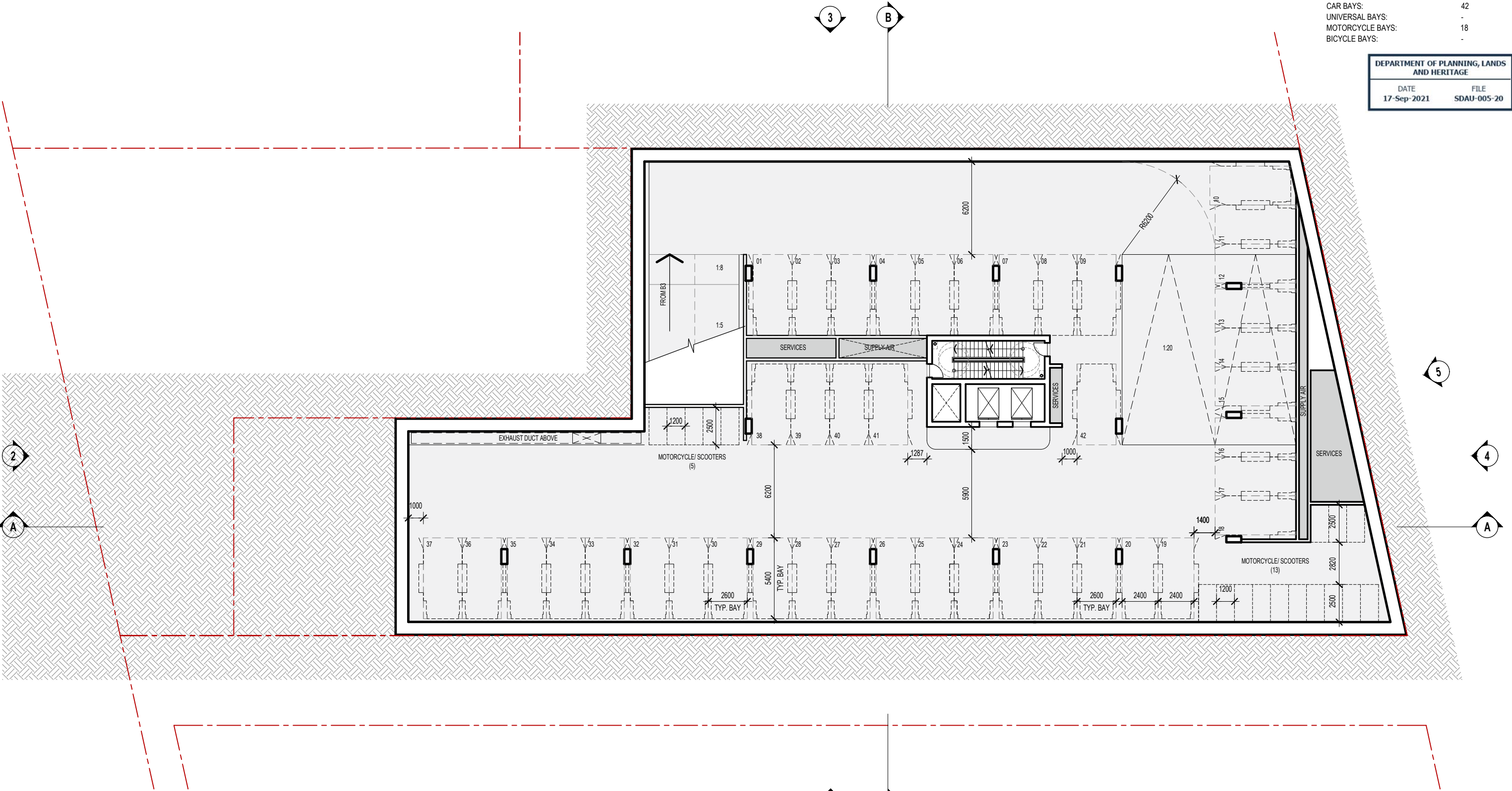
LANDSCAPING:

	HATCH DENOTES FEATURE STONE PAVING; REFER LANDSCAPE ARCHITECTS DRAWINGS
	HATCH DENOTES FEATURE STONE PAVING; REFER LANDSCAPE ARCHITECTS DRAWINGS
	HATCH DENOTES TIMBER DECKING; REFER LANDSCAPE ARCHITECTS DRAWINGS
	EXISTING TREE TO BE PROTECTED & RETAINED; REFER LANDSCAPE ARCHITECTS DRAWINGS
	PROPOSED TREE; REFER LANDSCAPE ARCHITECTS DRAWINGS

NOTES:

1. DESIGN RESOLUTION
- 1.1 THE DRAWINGS REPRESENT GENERAL ARCHITECTURAL INTENT FOR THE PURPOSE OF THIS PLANNING PERMIT ONLY.
- 1.2 THE INTERNAL LAYOUT IS SHOWN INDICATIVELY AND IS SUBJECT TO FURTHER DESIGN DEVELOPMENT.
- 1.3 THE DIMENSIONS SHOWN ARE GENERAL ONLY AND ARE SUBJECT TO FURTHER DESIGN RESOLUTION.
- 1.4 THE SIZE AND POSITION OF LOUVRE SUN SCREEN IS INDICATIVE ONLY AND IS SUBJECT TO FURTHER DESIGN DEVELOPMENT
- 1.5 CEILING RL (WHERE SHOWN) INDICATES GENERAL CEILING DESIGN LEVEL ONLY, WHICH DOES ACCOUNT FOR SERVICES BULKHEADS OR SIMILAR PARTIAL CEILING PROTRUSIONS.
- 1.6 LANDSCAPE COMPONENT IS SHOWN INDICATIVELY ONLY AND SUBJECT TO FURTHER DESIGN DEVELOPMENT AT LATER STAGE. REFER TO LANDSCAPE ARCHITECTS DOCUMENTATION FOR DETAILED INFORMATION.
- 1.7 LOCATION OF PLANT, EQUIPMENT AND SERVICES ON DRAWINGS IS GENERAL ARE INDICATIVE AND DOES NOT INCLUDE MINOR ELEMENTS SUCH AS VENT PIPES, FLUES, AERIAL, ETC.
2. GRAPHIC PRESENTATION
- 2.1 COLOURS PRESENTED ON DRAWINGS ARE GENERIC ONLY AND INDICATIVE OF THE ARCHITECTURAL DESIGN INTENT. SOME COLOUR DISTORTION MAY ALSO OCCUR IN THE PRINTING PROCESS.
3. EXISTING STRUCTURES AND SERVICES
- 3.1 EXTENT AND LOCATION OF EXISTING STRUCTURES AND SERVICES IS ACCORDING TO THE AVAILABLE SURVEY INFORMATION AND WILL NEED TO BE VERIFIED ON SITE AT LATER STAGE.
- 3.2 ALL UNCHANGED SITE LEVELS ARE AS PER THE EXISTING SURVEY INFORMATION





RESIDENTIAL PARKING:	
CAR BAYS:	42
UNIVERSAL BAYS:	-
MOTORCYCLE BAYS:	18
BICYCLE BAYS:	-

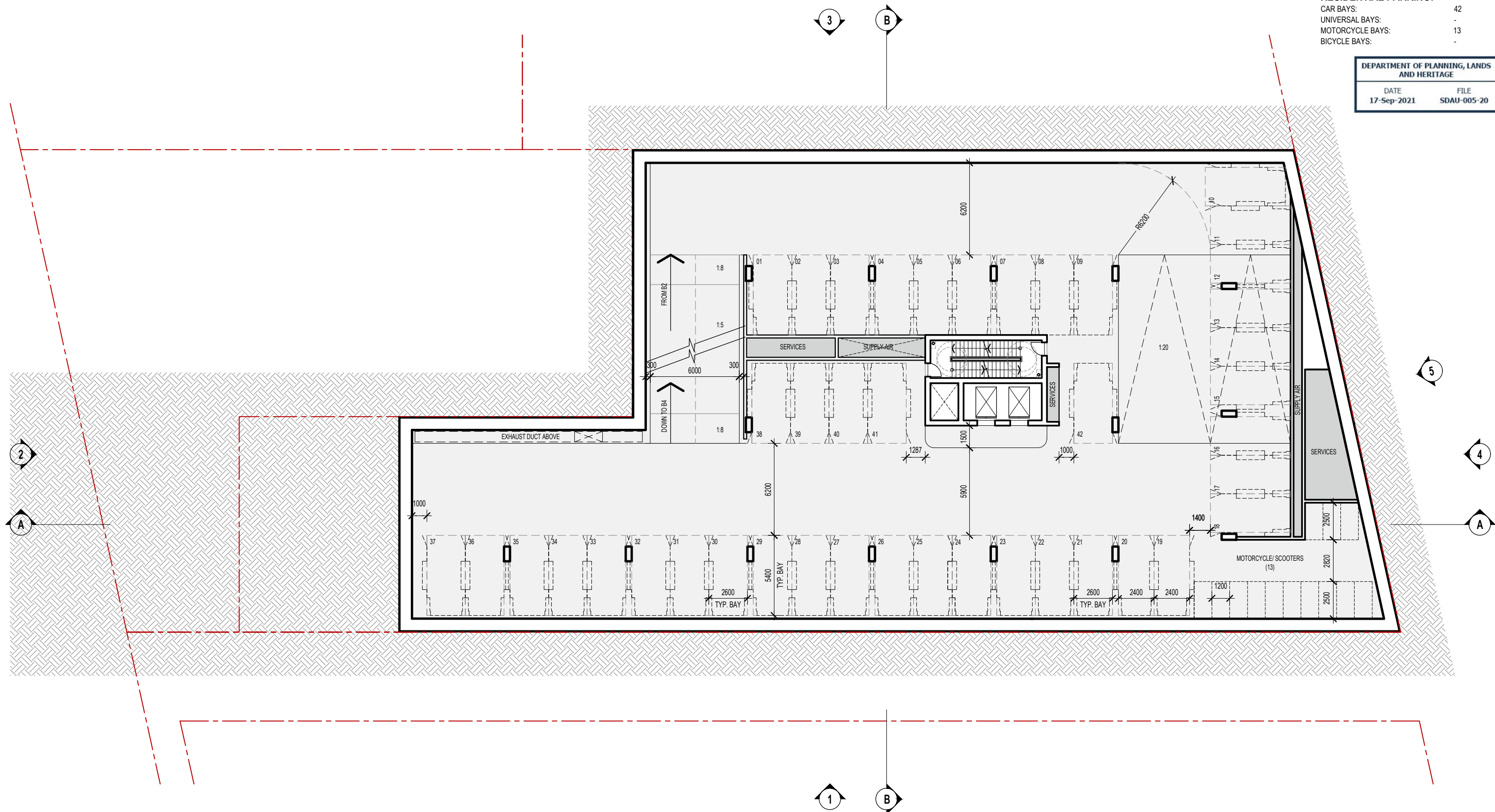
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
17-Sep-2021	SDAU-005-20

- GENERAL NOTES
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WORK.
 - ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
 - DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.

LEGEND					
SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

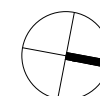
CAR BAYS:	42
UNIVERSAL BAYS:	-
MOTORCYCLE BAYS:	13
BICYCLE BAYS:	-

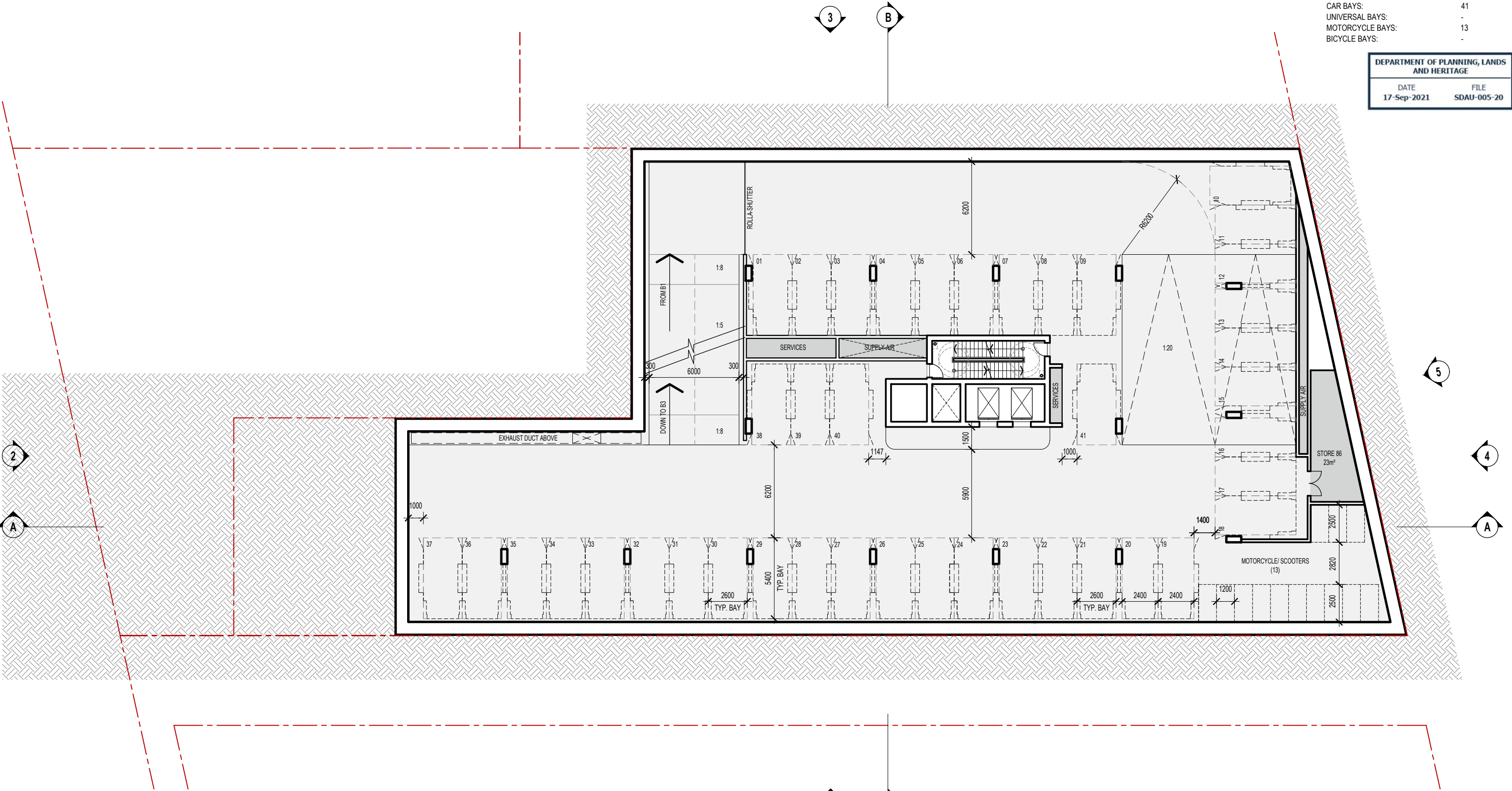
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20



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SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL





RESIDENTIAL PARKING:	
CAR BAYS:	41
UNIVERSAL BAYS:	-
MOTORCYCLE BAYS:	13
BICYCLE BAYS:	-

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SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
BASEMENT 2
FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2003

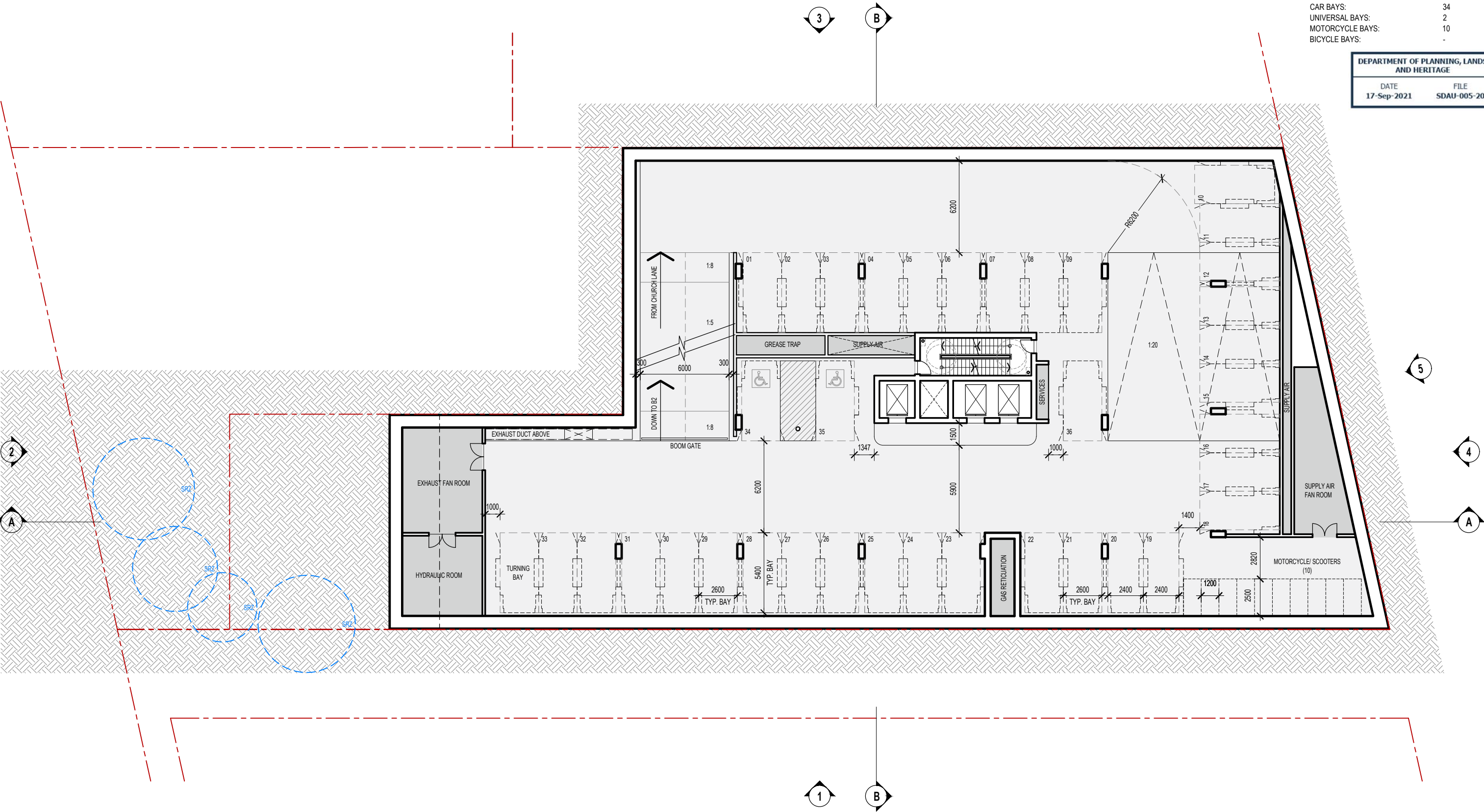
REV. DATE
- 15-07-21

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COMMERCIAL / RETAIL PARKING:	
CAR BAYS:	34
UNIVERSAL BAYS:	2
MOTORCYCLE BAYS:	10
BICYCLE BAYS:	-

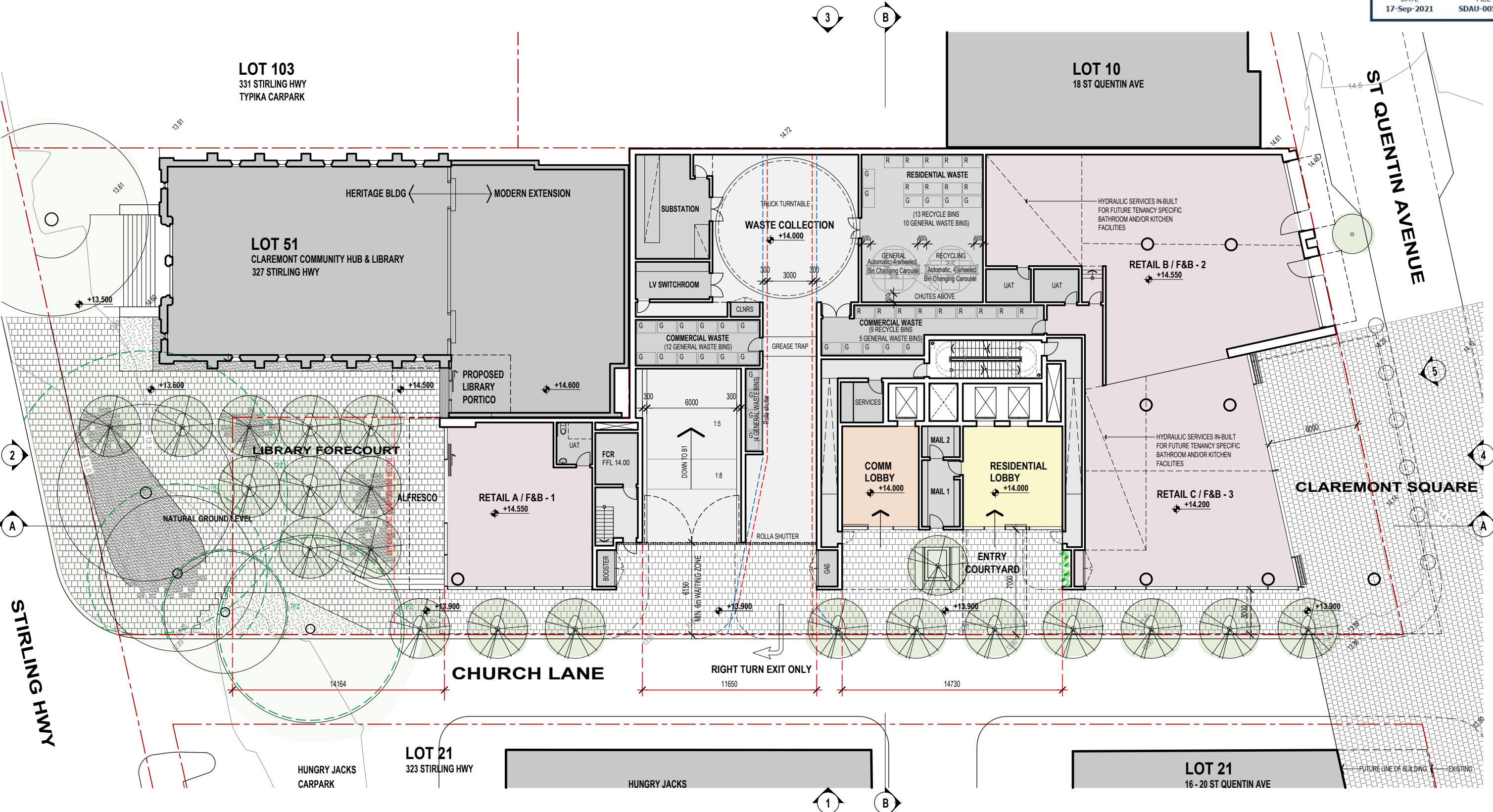
DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE	FILE
17-Sep-2021	SDAU-005-20



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LEGEND					
SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

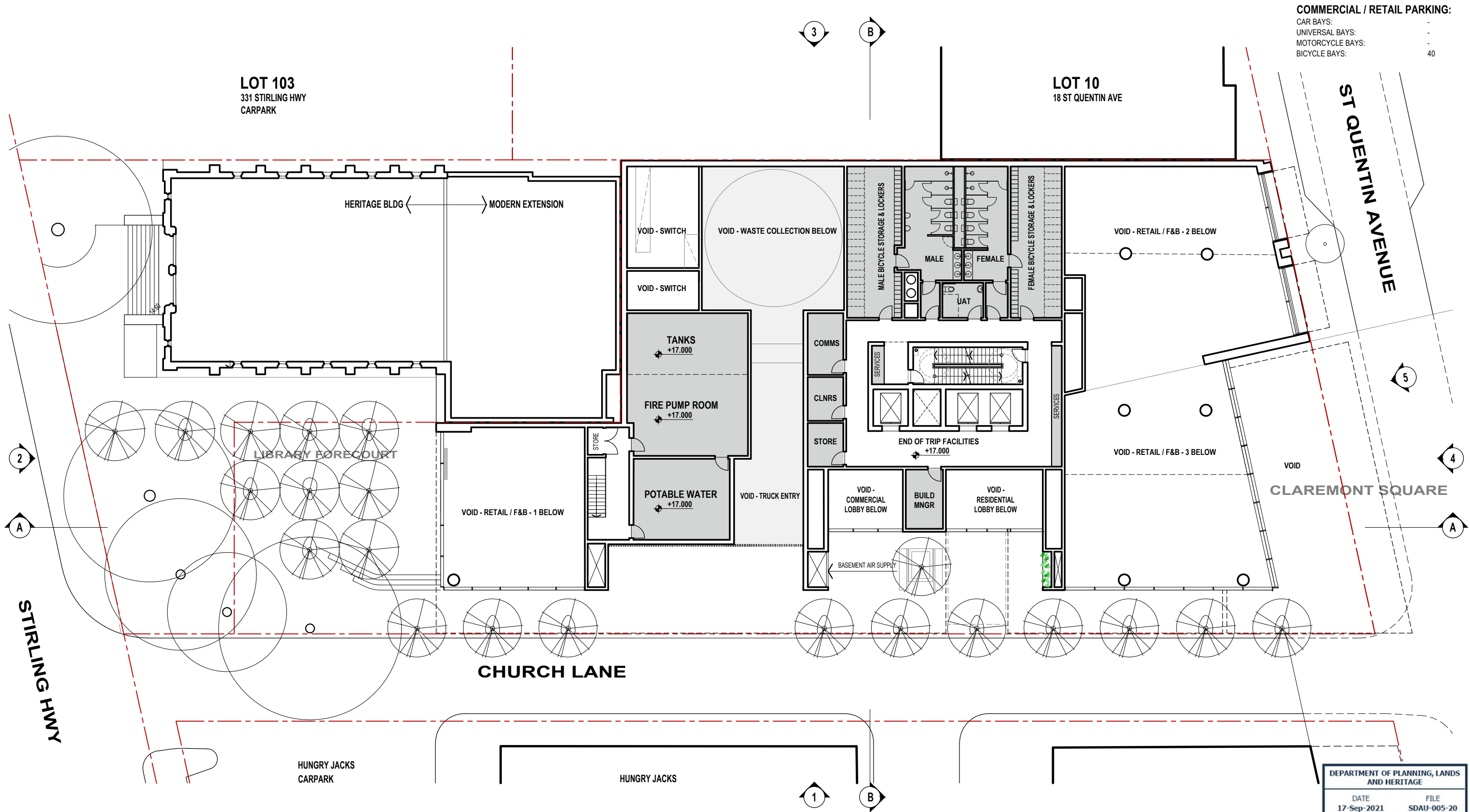




GENERAL NOTES

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SERVICES / FACILITIES		VEHICULAR CIRCULATION		RETAIL / F & B		RESIDENT COMMUNAL		COMMERCIAL		1 BED + 1 BATH	
2 BED + 2 BATH		3 BED + 2 BATH		PENTHOUSE		BALCONY / STORE		LANDSCAPE		POOL	



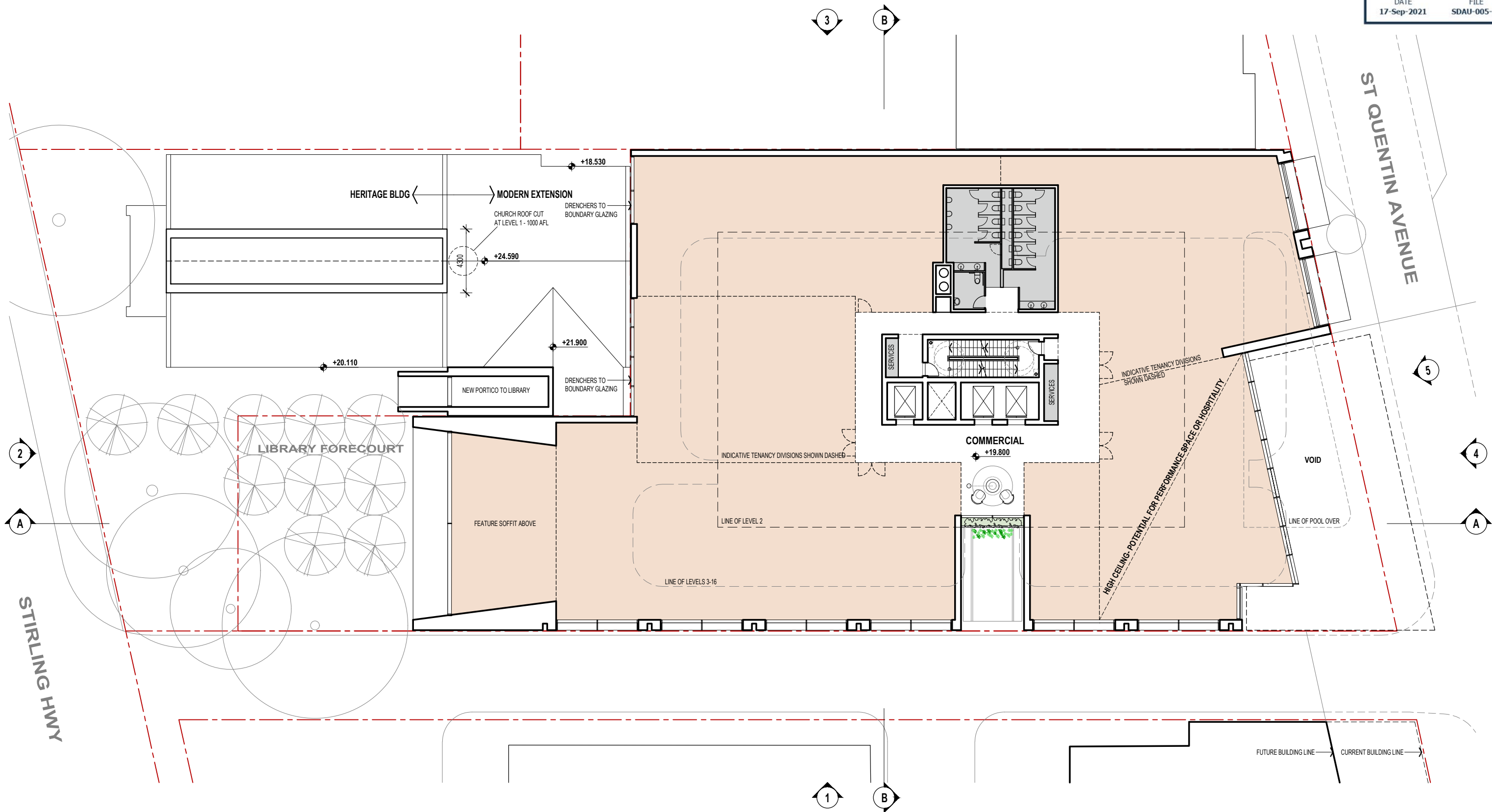
COMMERCIAL / RETAIL PARKING:
CAR BAYS: -
UNIVERSAL BAYS: -
MOTORCYCLE BAYS: -
BICYCLE BAYS: 40

GENERAL NOTES

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LEGEND					
SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

DEPARTMENT OF PLANNING, LANDS AND HERITAGE
DATE 17-Sep-2021 FILE SDAU-005-20



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PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVEL 1
FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2007

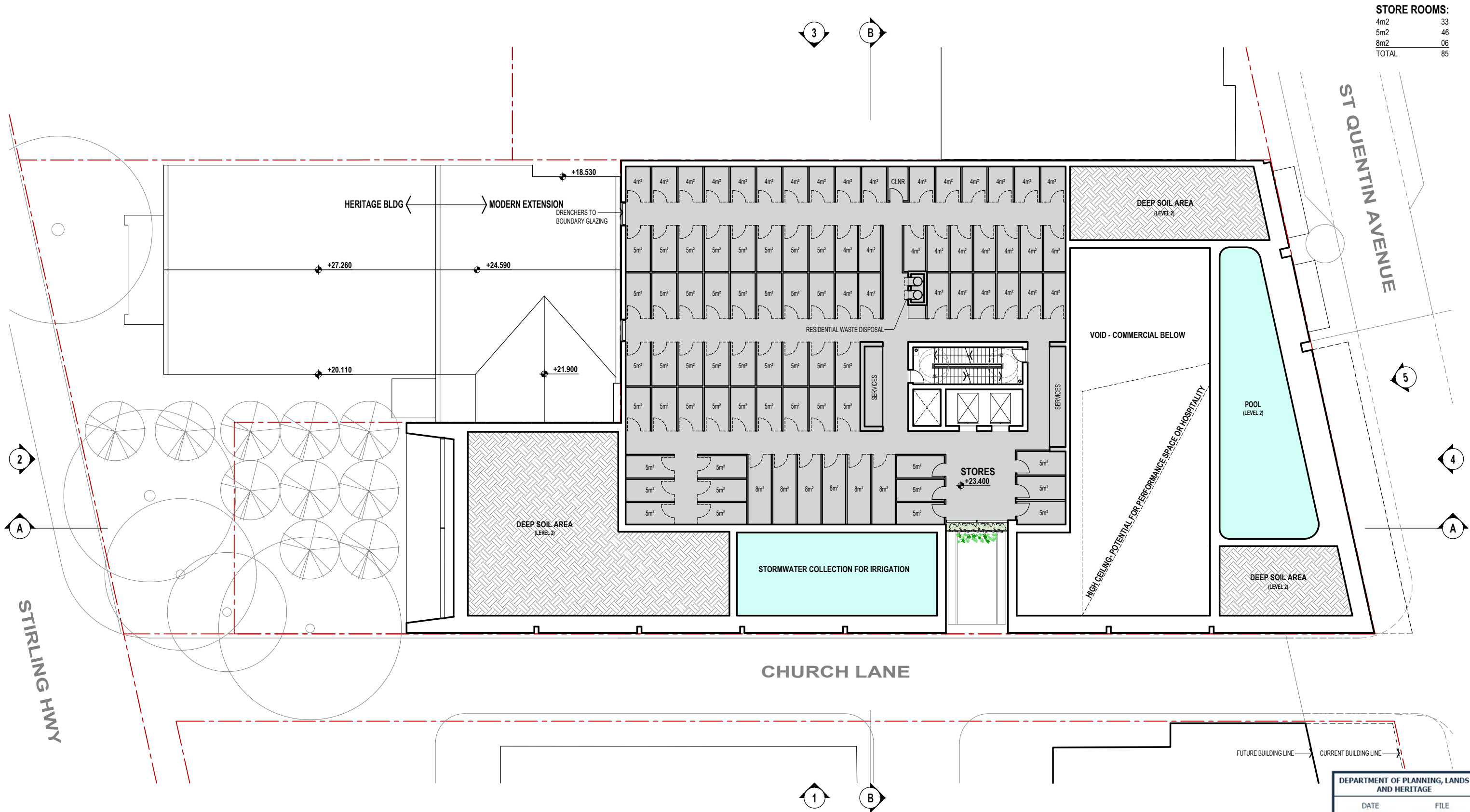
REV.
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DATE
15-07-21

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STORE ROOMS:	
4m2	33
5m2	46
8m2	06
TOTAL	85

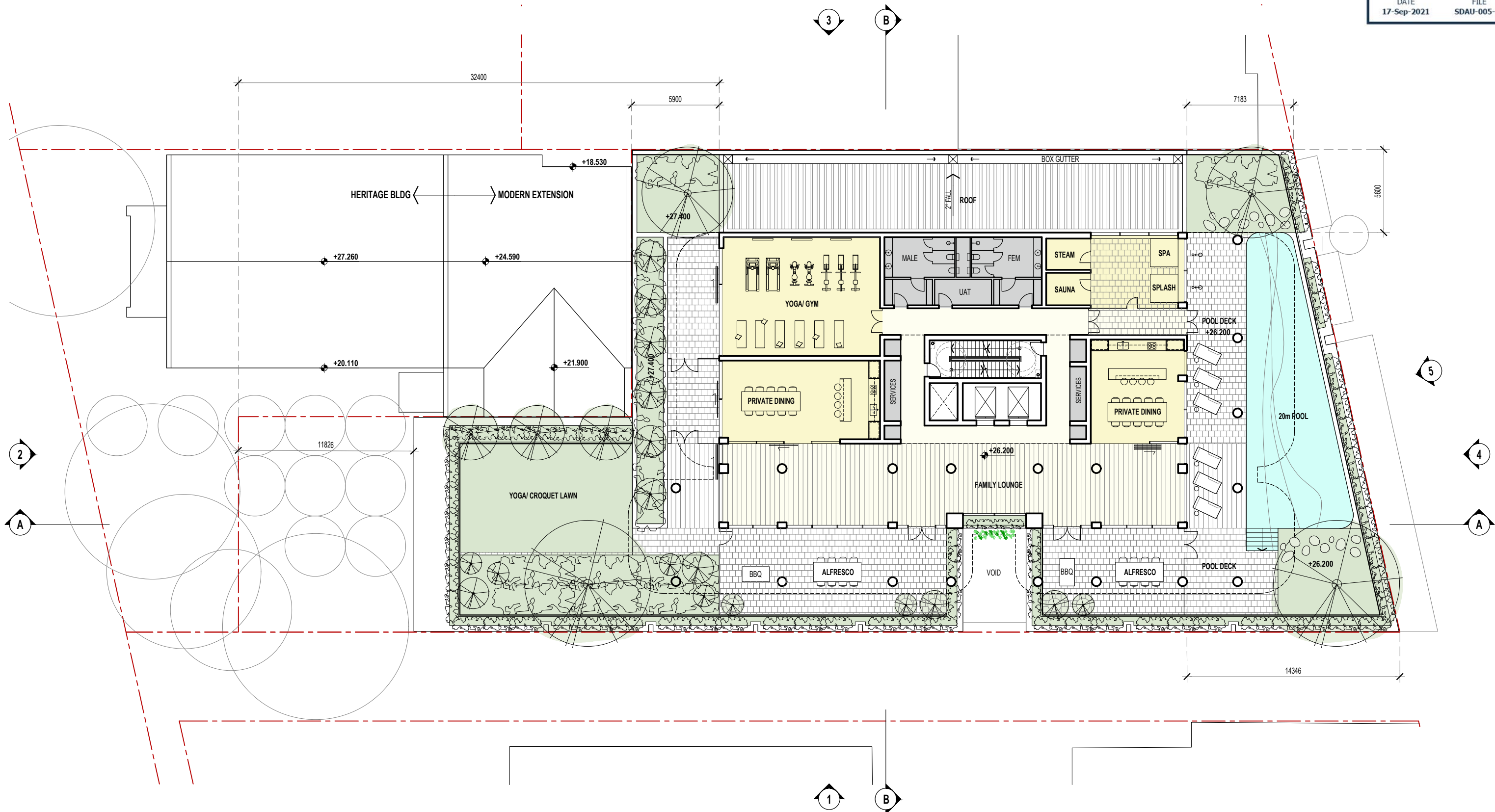
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LEGEND

SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

DEPARTMENT OF PLANNING, LANDS AND HERITAGE

DATE	FILE
17-Sep-2021	SDAU-005-20



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2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVEL 2
FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2009

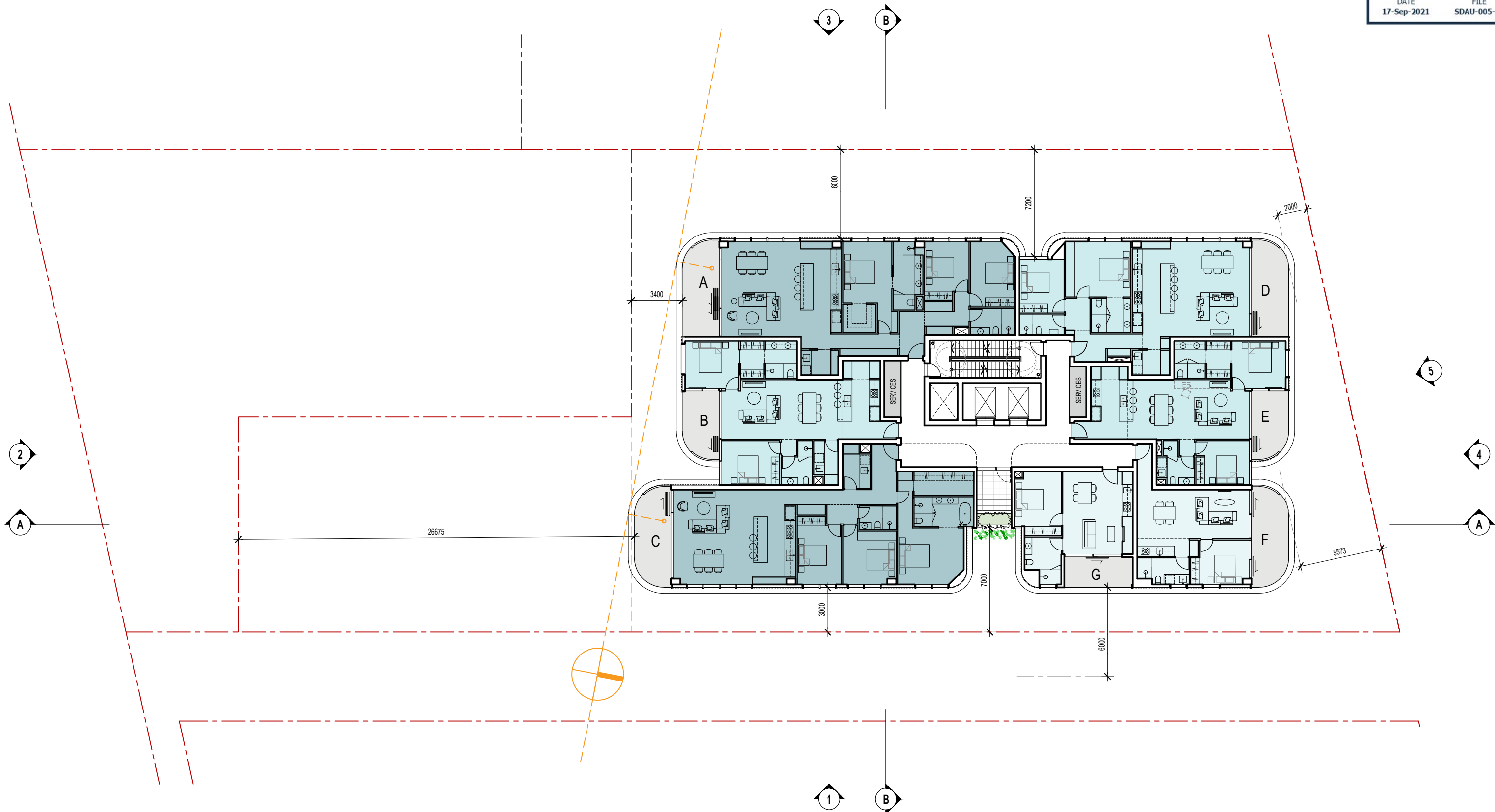
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DATE
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GENERAL NOTES

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2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

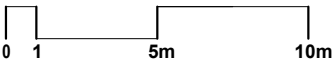
TITLE
LEVELS 3 - 9
FLOOR PLAN

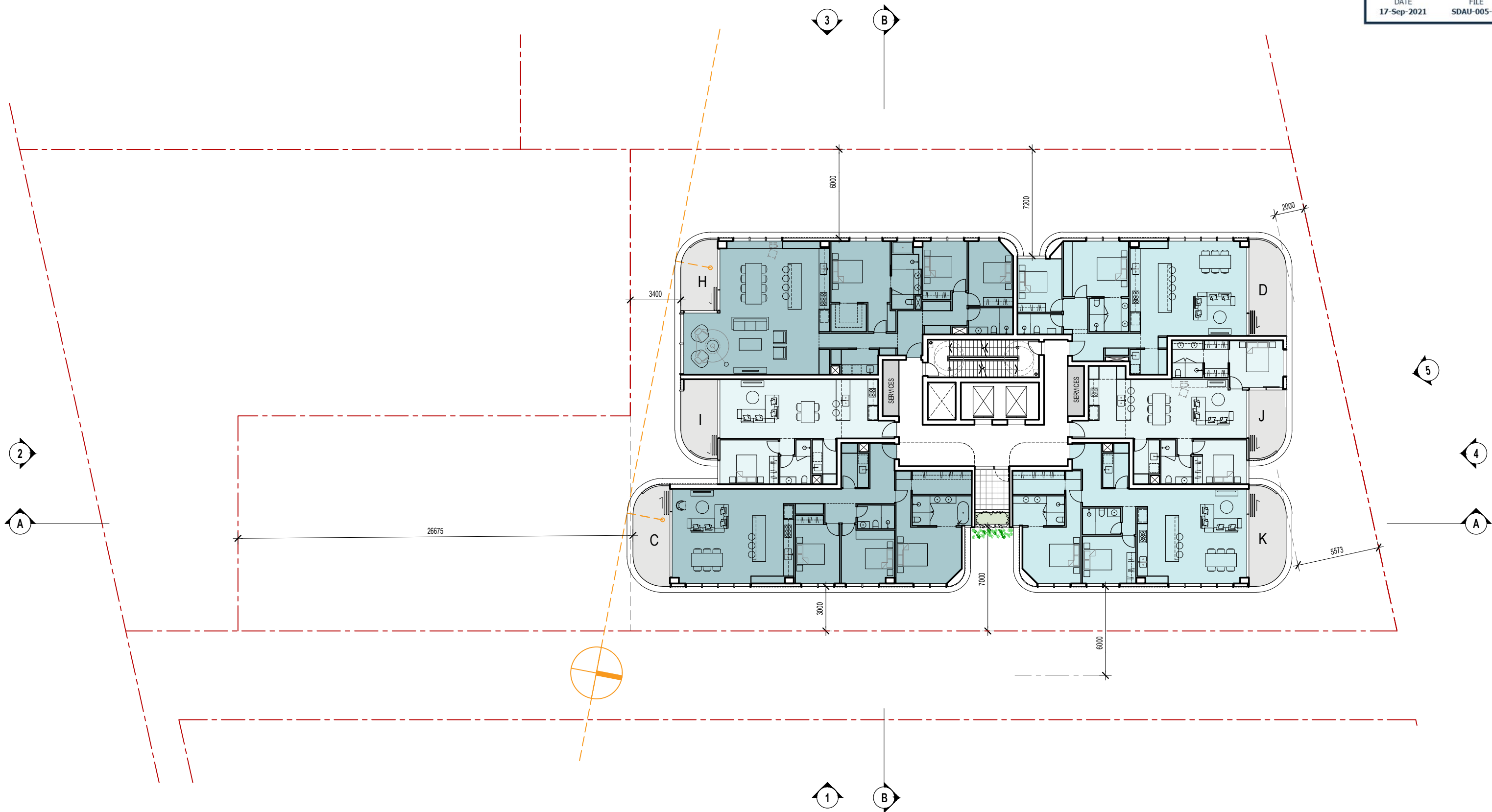
STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2010

REV. DATE
- 15-07-21

SCALE 1:250 @ A3





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LEGEND

SERVICES / FACILITIES

VEHICULAR CIRCULATION

RETAIL / F & B

RESIDENT COMMUNAL

COMMERCIAL

1 BED + 1 BATH

2 BED + 2 BATH

3 BED + 2 BATH

PENTHOUSE

BALCONY / STORE

LANDSCAPE

POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVELS 10 - 15
FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2011

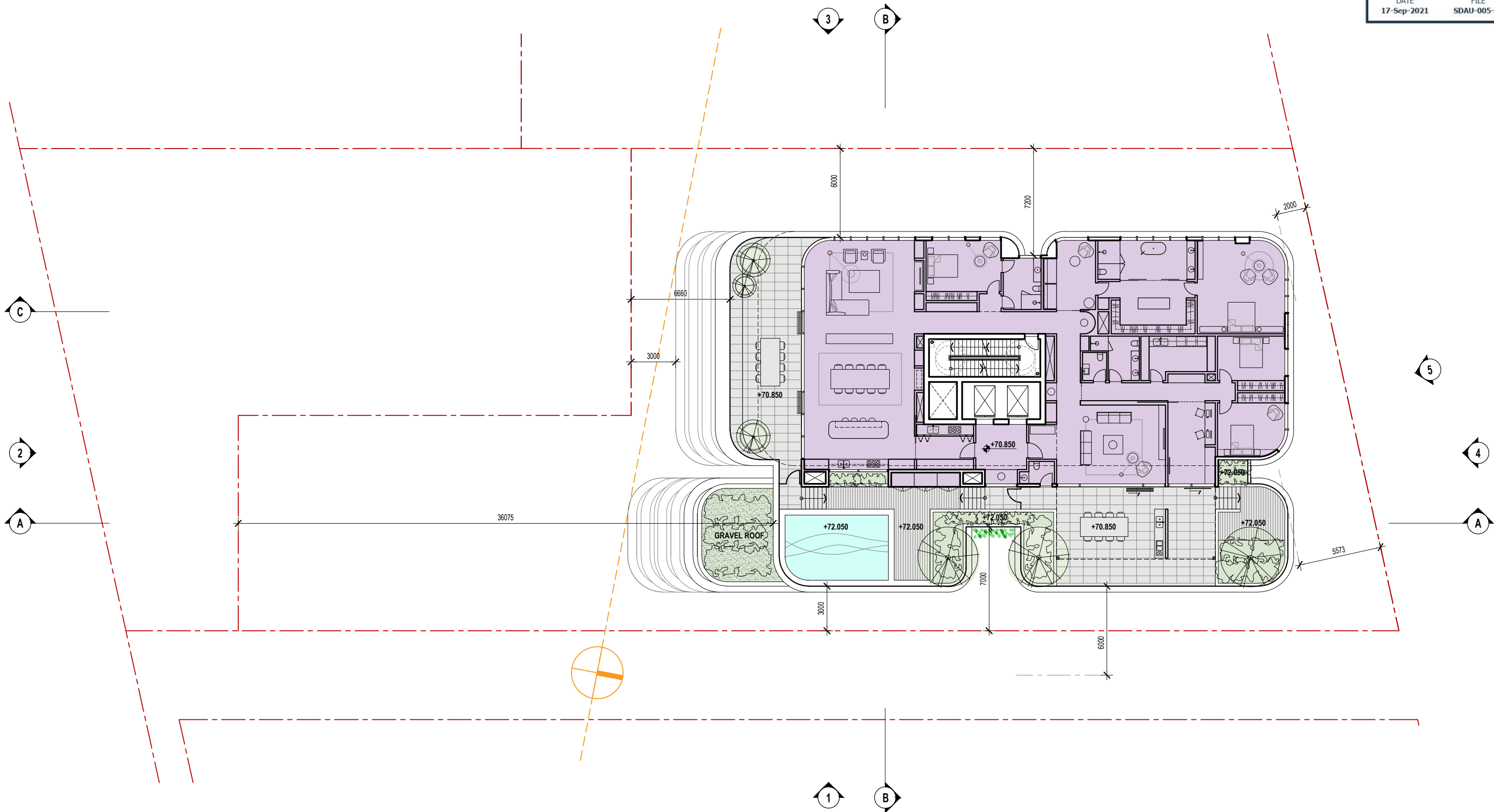
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-

DATE
15-07-21

SCALE 1:250 @ A3

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LEGEND

SERVICES / FACILITIES

VEHICULAR CIRCULATION

RETAIL / F & B

RESIDENT COMMUNAL

COMMERCIAL

2 BED + 2 BATH

3 BED + 2 BATH

PENTHOUSE

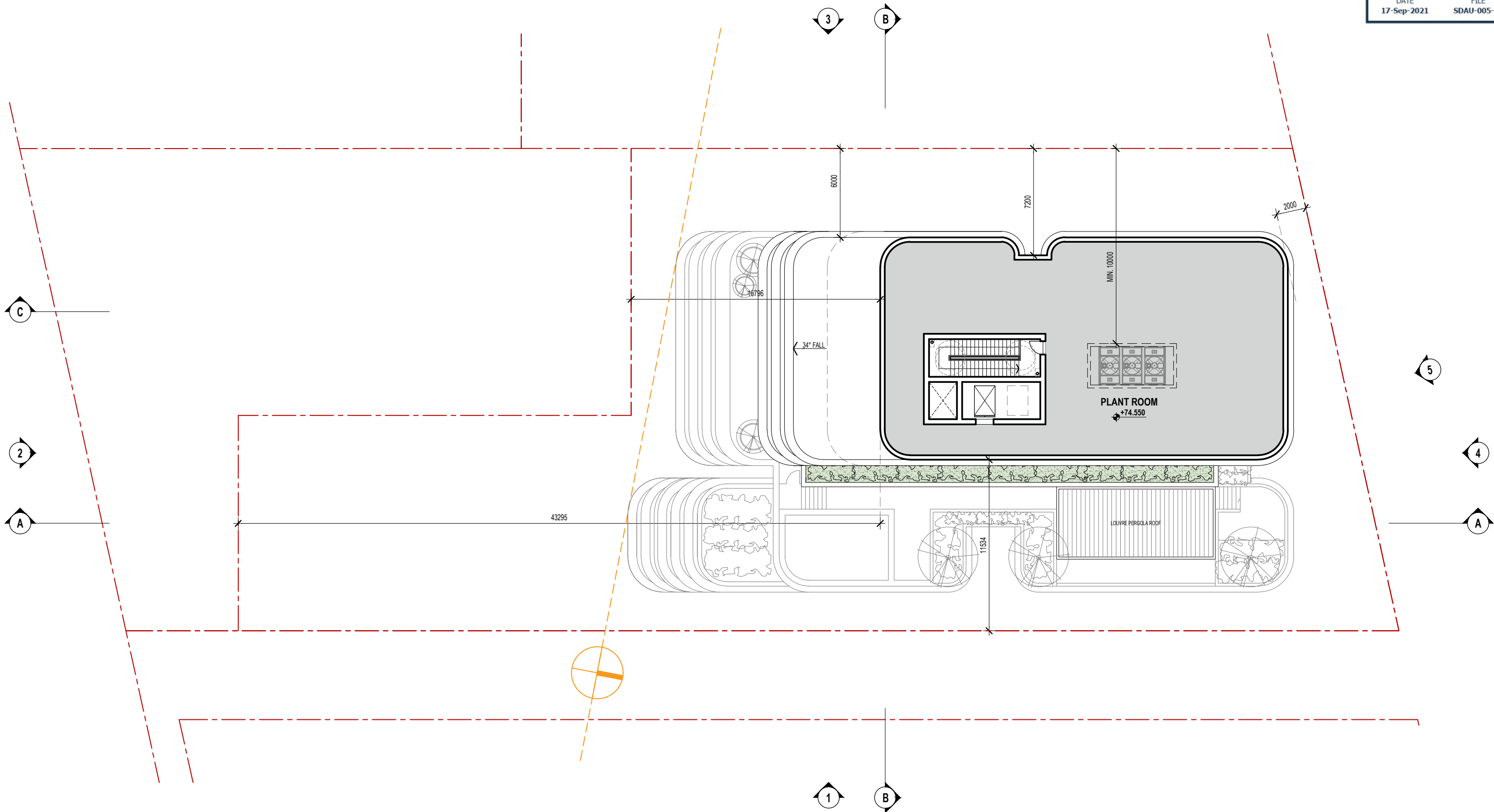
BALCONY / STORE

LANDSCAPE

POOL

NET SELLABLE AREA

NET SELLABLE AREA



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LEGEND

SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
PLANT
FLOOR PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2013

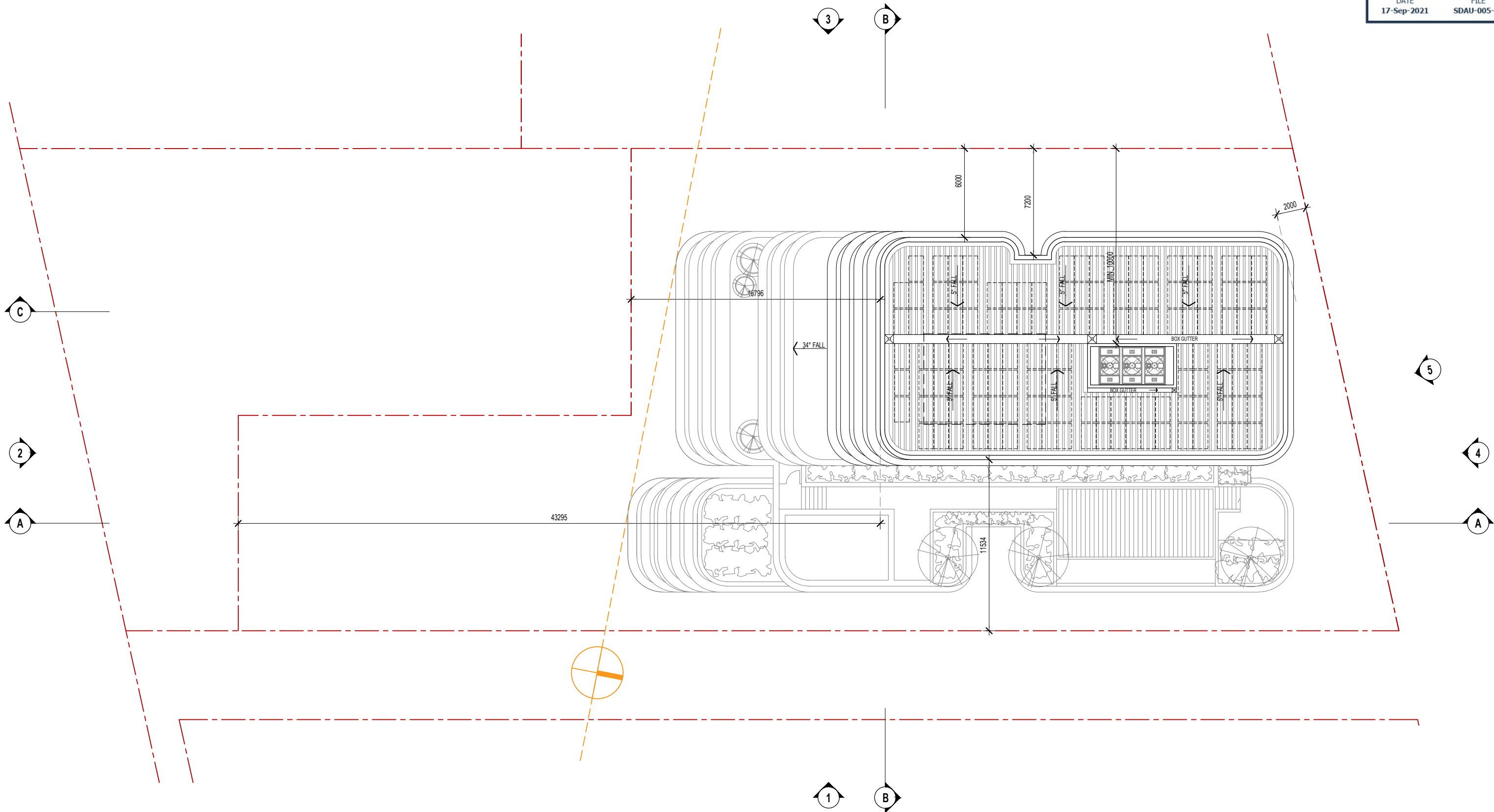
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DATE
15-07-21

SCALE 1:250 @ A3

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LEGEND

SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
ROOF PLAN

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_2014

REV.
-

DATE
15-07-21

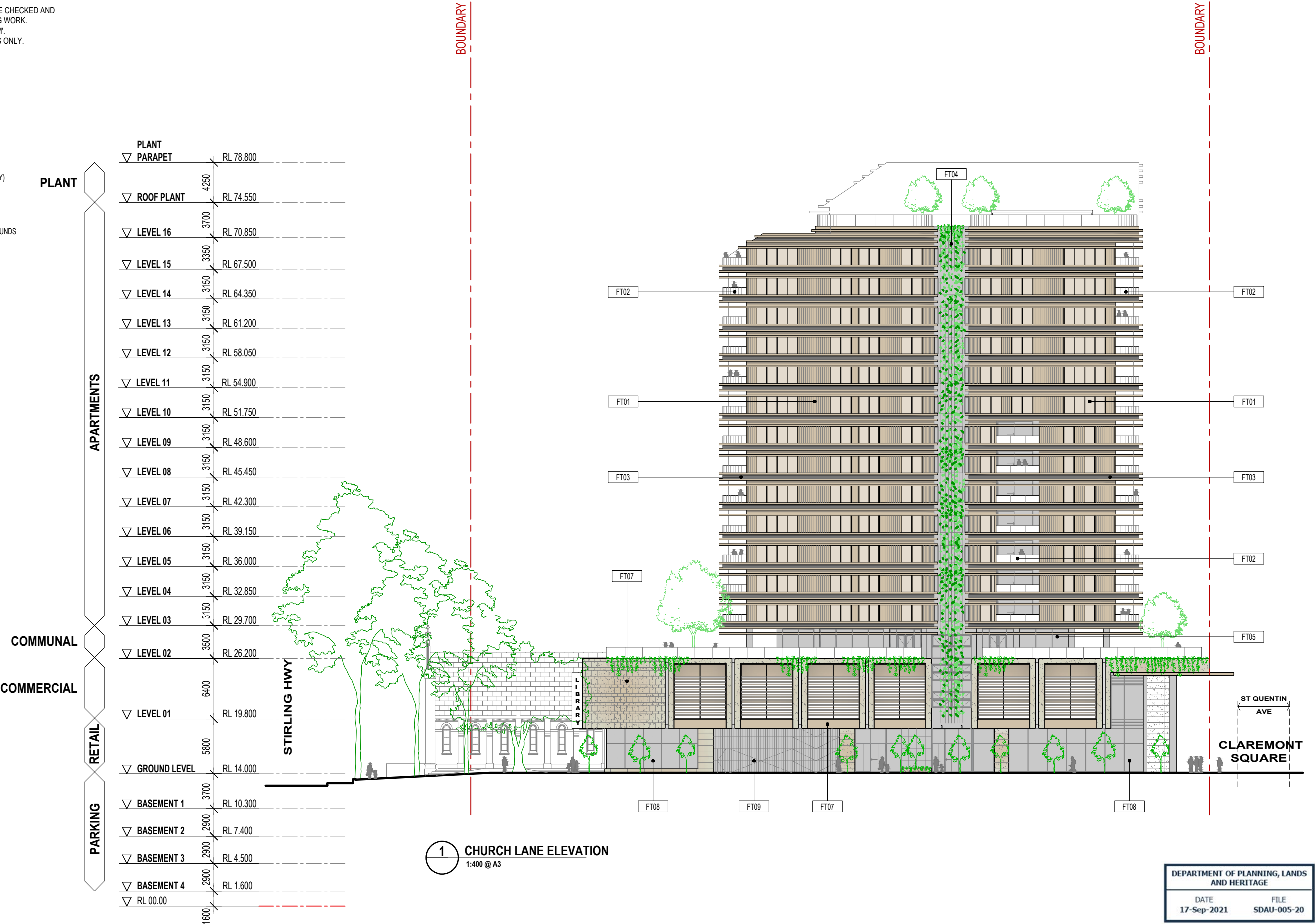
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- LEGEND
- FT01 FACADE TYPE 1 - RESIDENTIAL TOWER FACADE
 - FT02 FACADE TYPE 2 - RESIDENTIAL BALCONY
 - FT03 FACADE TYPE 3 - SHADOW GAP FACADE
 - FT04 FACADE TYPE 4 - GREEN SEAM
 - FT05 FACADE TYPE 5 - PODIUM TERRACE FACADE
 - FT06 FACADE TYPE 6 - WESTERN PODIUM FACADE (BOUNDARY)
 - FT07 FACADE TYPE 7 - COMMERCIAL LEVEL FACADES
 - FT08 FACADE TYPE 8 - GROUND LEVEL FACADES
 - FT09 FACADE TYPE 9 - VEHICULAR ENTRY GATES AND SURROUNDS



PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
ELEVATION 1

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_3001

REV.
-

DATE
15-07-21

SCALE 1:400 @ A3

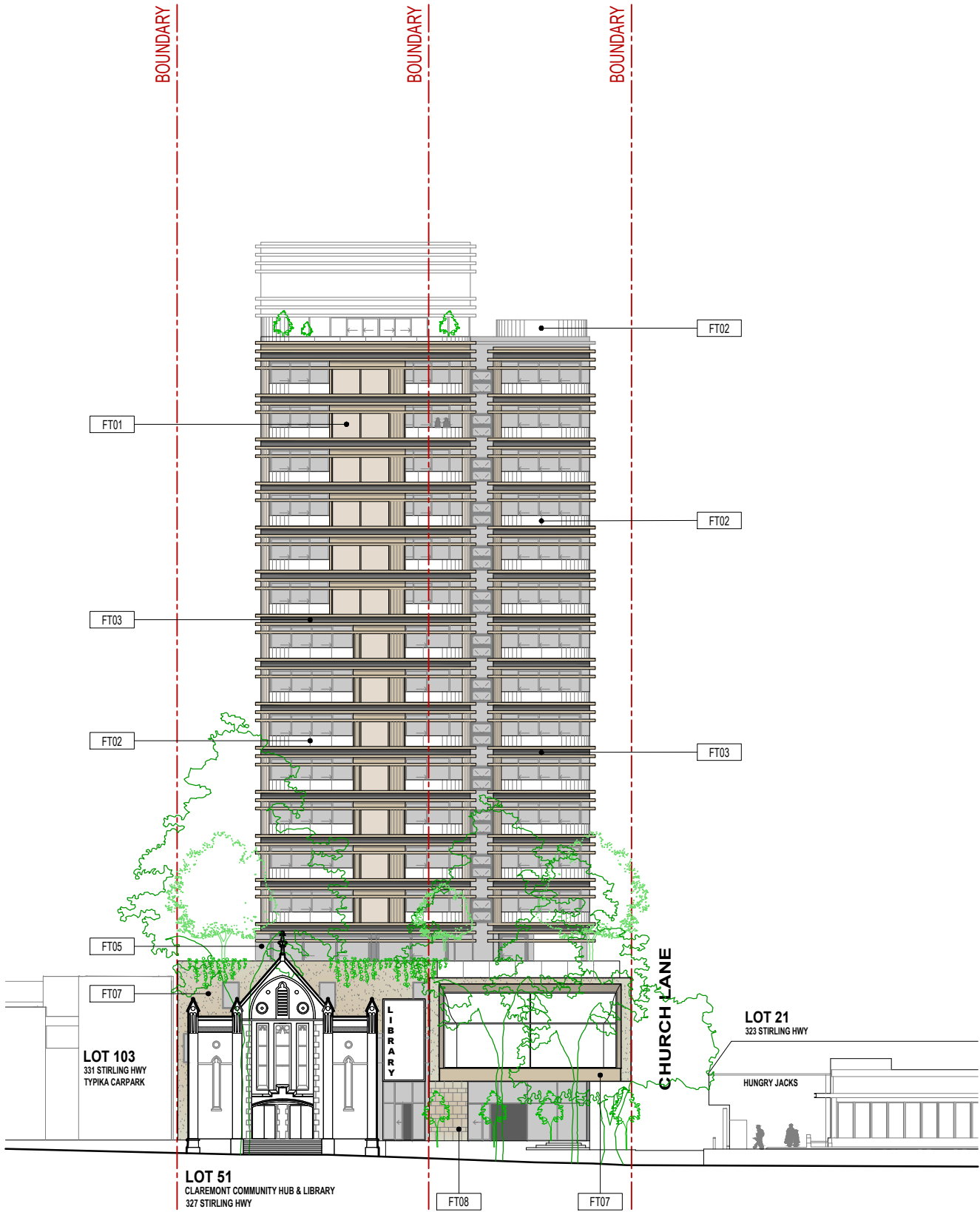
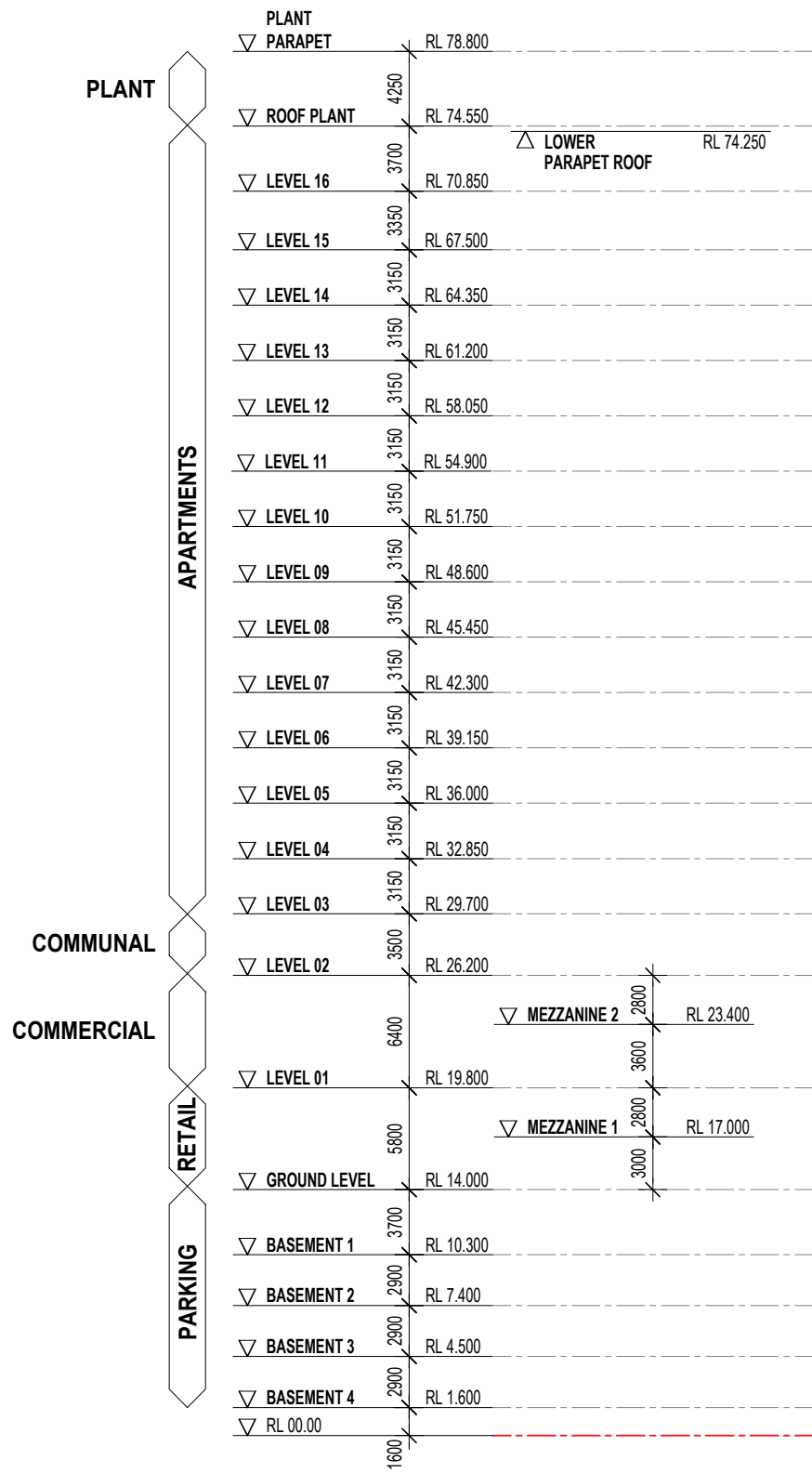
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DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

DATE
17-Sep-2021

FILE
SDAU-005-20

- GENERAL NOTES
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WORK.
 - ALL LEVELS RELATIVE TO 'AUSTRALIAN HEIGHT DATUM'.
 - DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.



2 STIRLING HIGHWAY ELEVATION
1:400 @ A3

- LEGEND
- FT01 FACADE TYPE 1 - RESIDENTIAL TOWER FACADE
 - FT02 FACADE TYPE 2 - RESIDENTIAL BALCONY
 - FT03 FACADE TYPE 3 - SHADOW GAP FACADE
 - FT04 FACADE TYPE 4 - GREEN SEAM
 - FT05 FACADE TYPE 5 - PODIUM TERRACE FACADE
 - FT06 FACADE TYPE 6 - WESTERN PODIUM FACADE (BOUNDARY)
 - FT07 FACADE TYPE 7 - COMMERCIAL LEVEL FACADES
 - FT08 FACADE TYPE 8 - GROUND LEVEL FACADES
 - FT09 FACADE TYPE 9 - VEHICULAR ENTRY GATES AND SURROUNDS

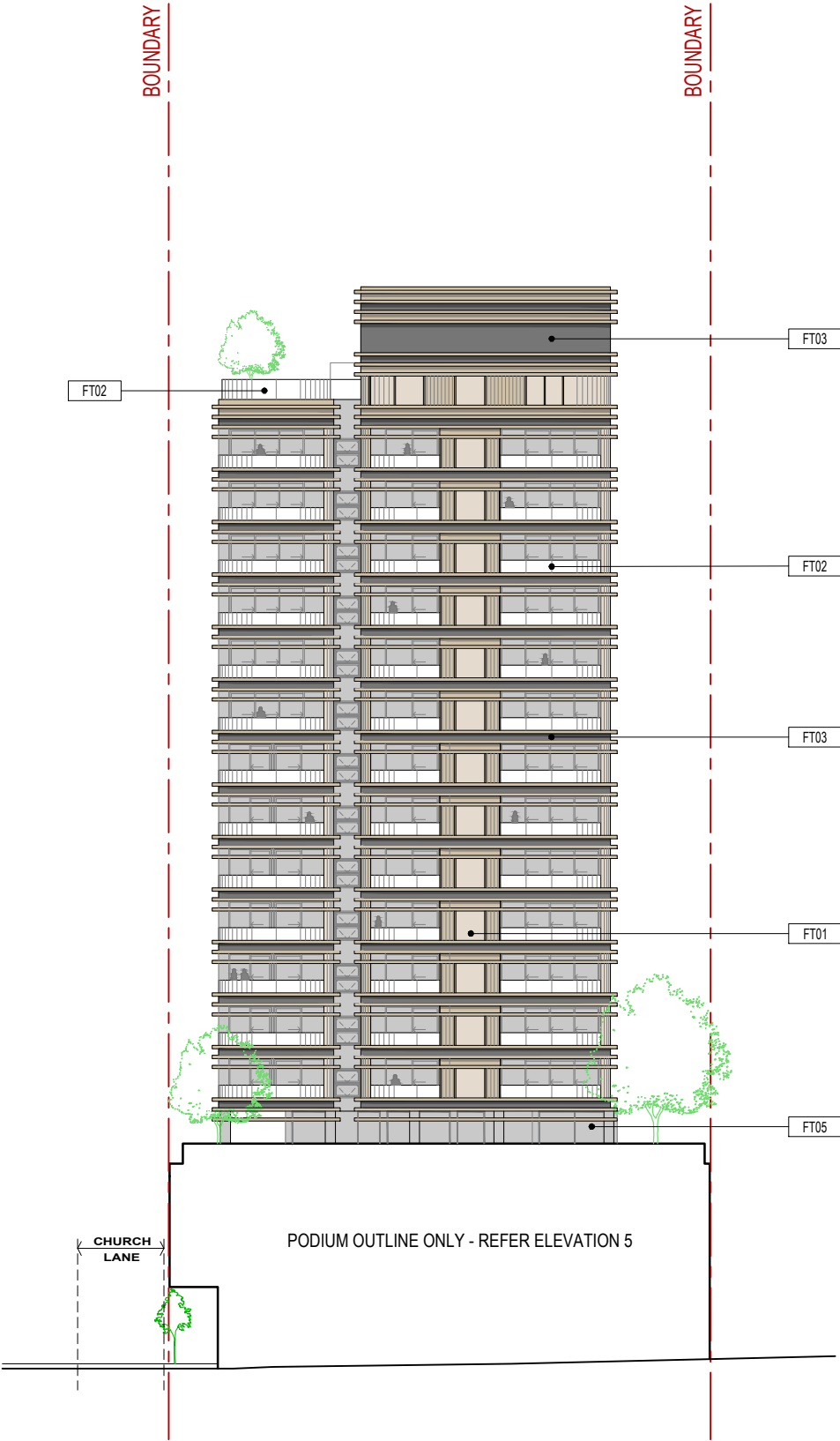
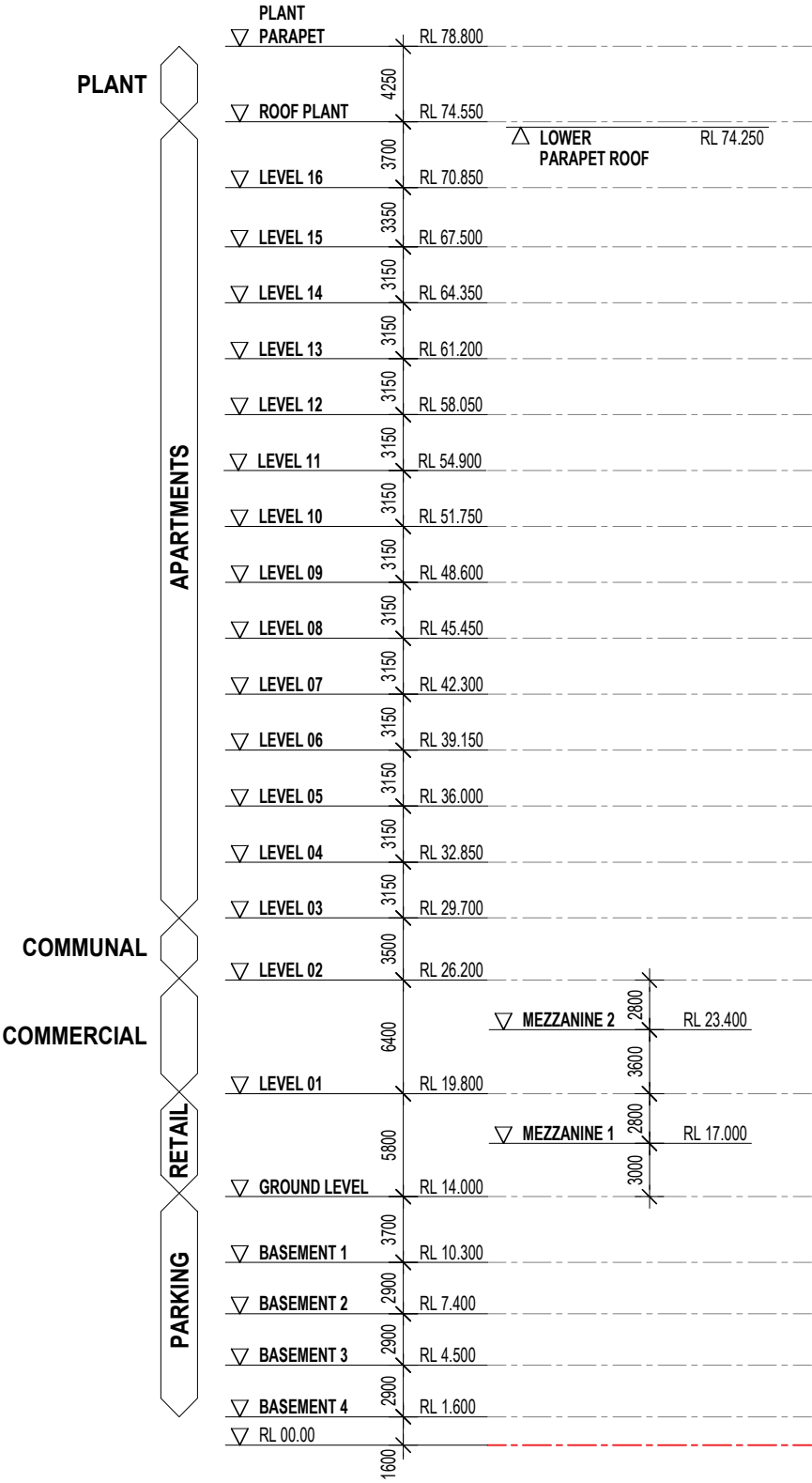
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FT01	FACADE TYPE 1 - RESIDENTIAL TOWER FACADE
FT02	FACADE TYPE 2 - RESIDENTIAL BALCONY
FT03	FACADE TYPE 3 - SHADOW GAP FACADE
FT04	FACADE TYPE 4 - GREEN SEAM
FT05	FACADE TYPE 5 - PODIUM TERRACE FACADE
FT06	FACADE TYPE 6 - WESTERN PODIUM FACADE (BOUNDARY)
FT07	FACADE TYPE 7 - COMMERCIAL LEVEL FACADES
FT08	FACADE TYPE 8 - GROUND LEVEL FACADES
FT09	FACADE TYPE 9 - VEHICULAR ENTRY GATES AND SURROUNDS



GENERAL NOTES

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4 ST QUENTIN AVENUE ELEVATION
1:400 @ A3

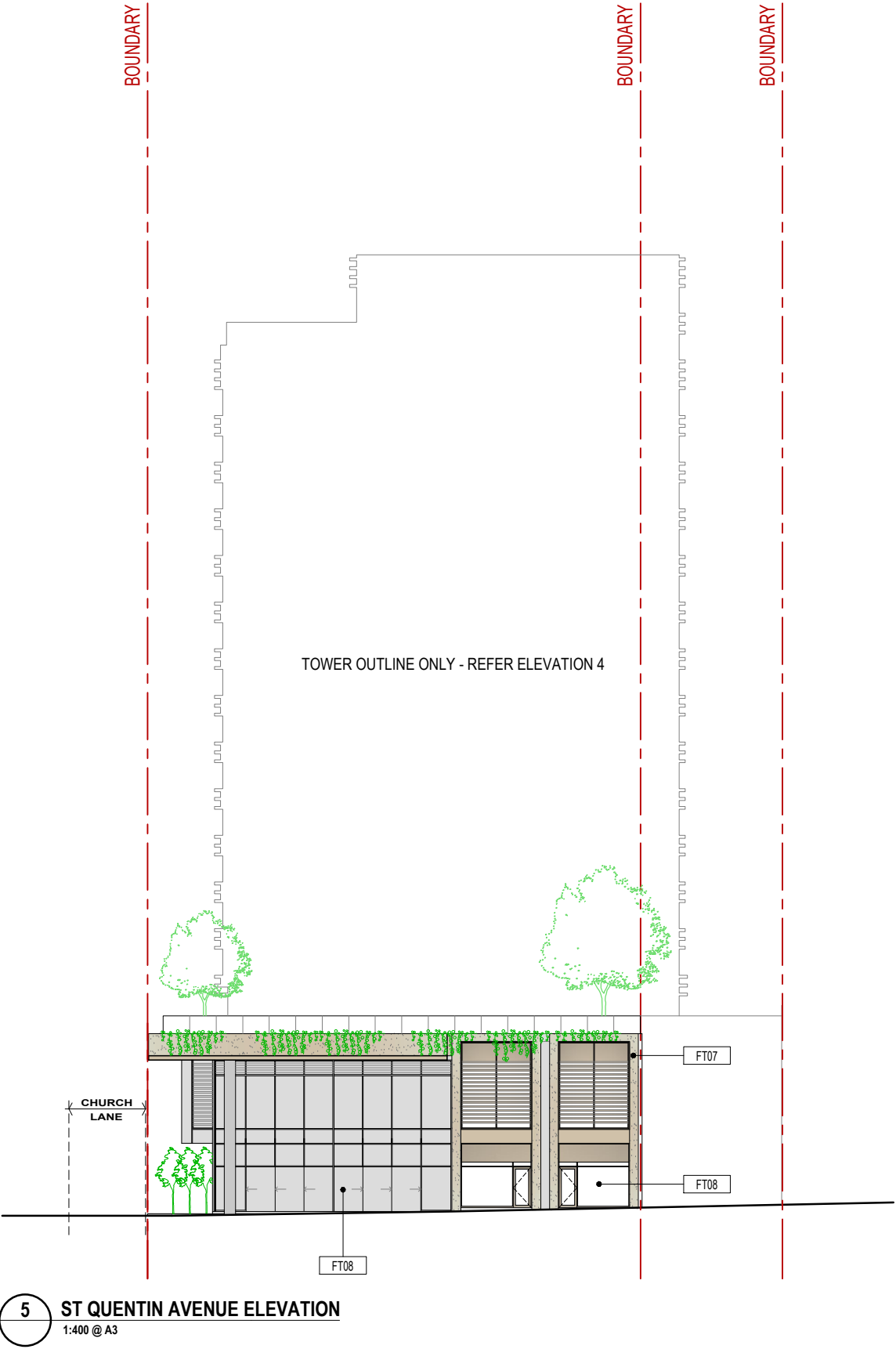
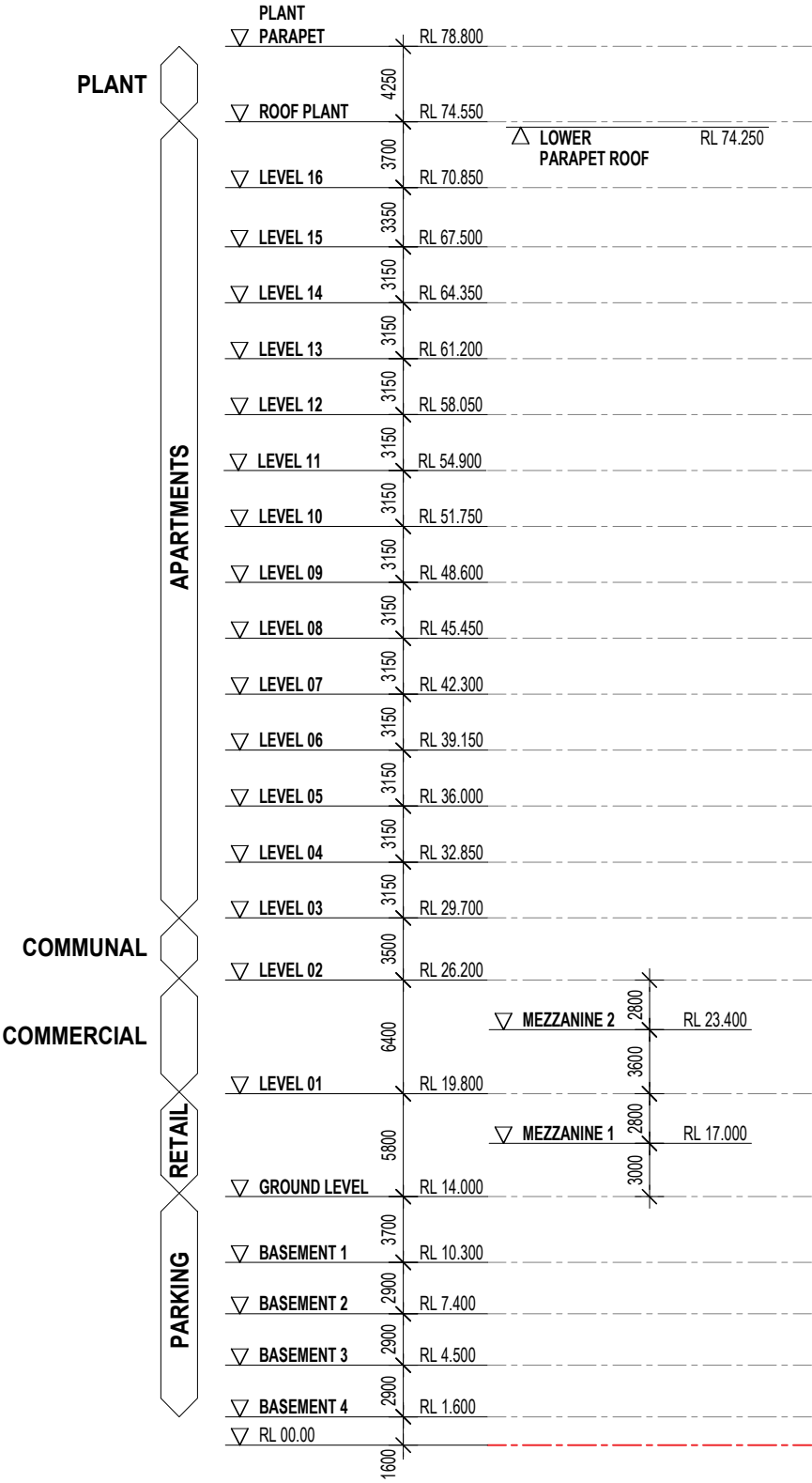
LEGEND

FT01	FACADE TYPE 1 - RESIDENTIAL TOWER FACADE
FT02	FACADE TYPE 2 - RESIDENTIAL BALCONY
FT03	FACADE TYPE 3 - SHADOW GAP FACADE
FT04	FACADE TYPE 4 - GREEN SEAM
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FT06	FACADE TYPE 6 - WESTERN PODIUM FACADE (BOUNDARY)
FT07	FACADE TYPE 7 - COMMERCIAL LEVEL FACADES
FT08	FACADE TYPE 8 - GROUND LEVEL FACADES
FT09	FACADE TYPE 9 - VEHICULAR ENTRY GATES AND SURROUNDS

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

GENERAL NOTES

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LEGEND

FT01	FACADE TYPE 1 - RESIDENTIAL TOWER FACADE
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PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
ELEVATION 5

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_3005

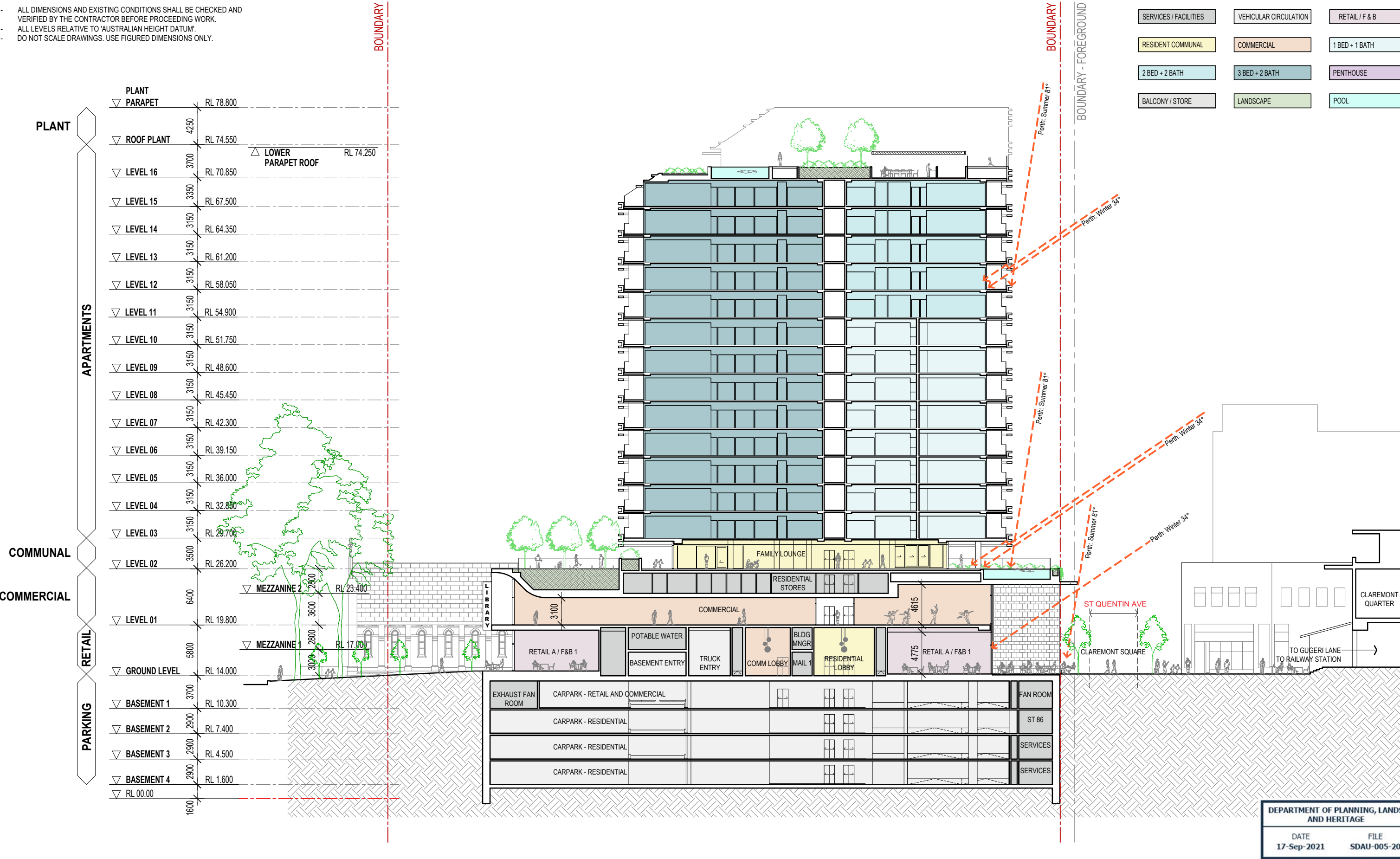
REV.
-
DATE
15-07-21

SCALE 1:400 @ A3
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DEPARTMENT OF PLANNING, LANDS
AND HERITAGE
DATE
17-Sep-2021
FILE
SDAU-005-20

GENERAL NOTES

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PENNOCK
ARCHITECTS

PROJECT

CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE

SECTION A-A

STATUS

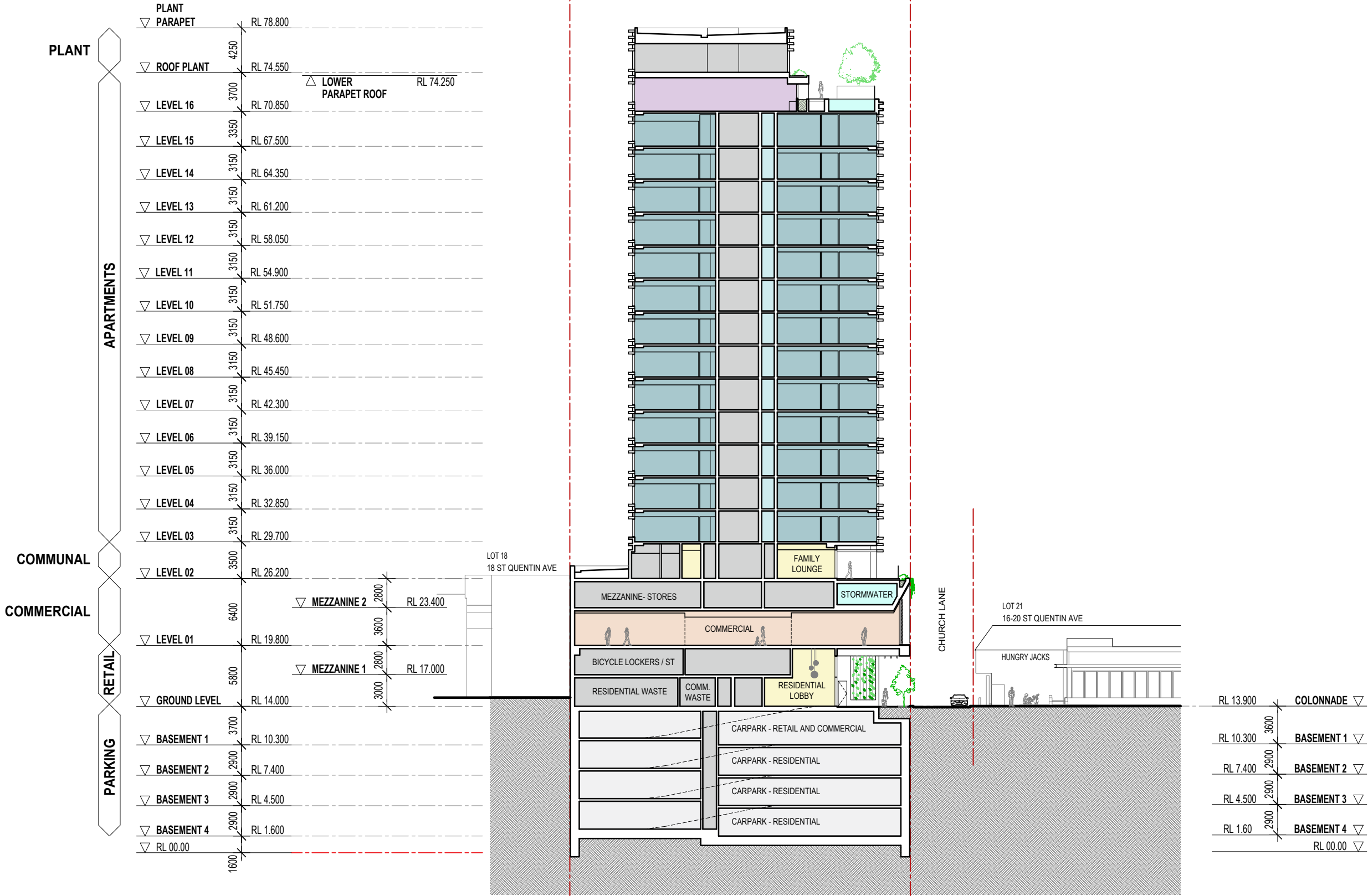
DEVELOPMENT APPLICATION

SHEET DA_4001 **REV.** - **DATE** 15-07-21

SCALE 1:400 @ A3

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- GENERAL NOTES
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LEGEND

SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B
RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE
BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
SECTION B-B

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_4002

REV.
-

DATE
15-07-21

SCALE 1:400 @ A3

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DEPARTMENT OF PLANNING, LANDS
AND HERITAGE

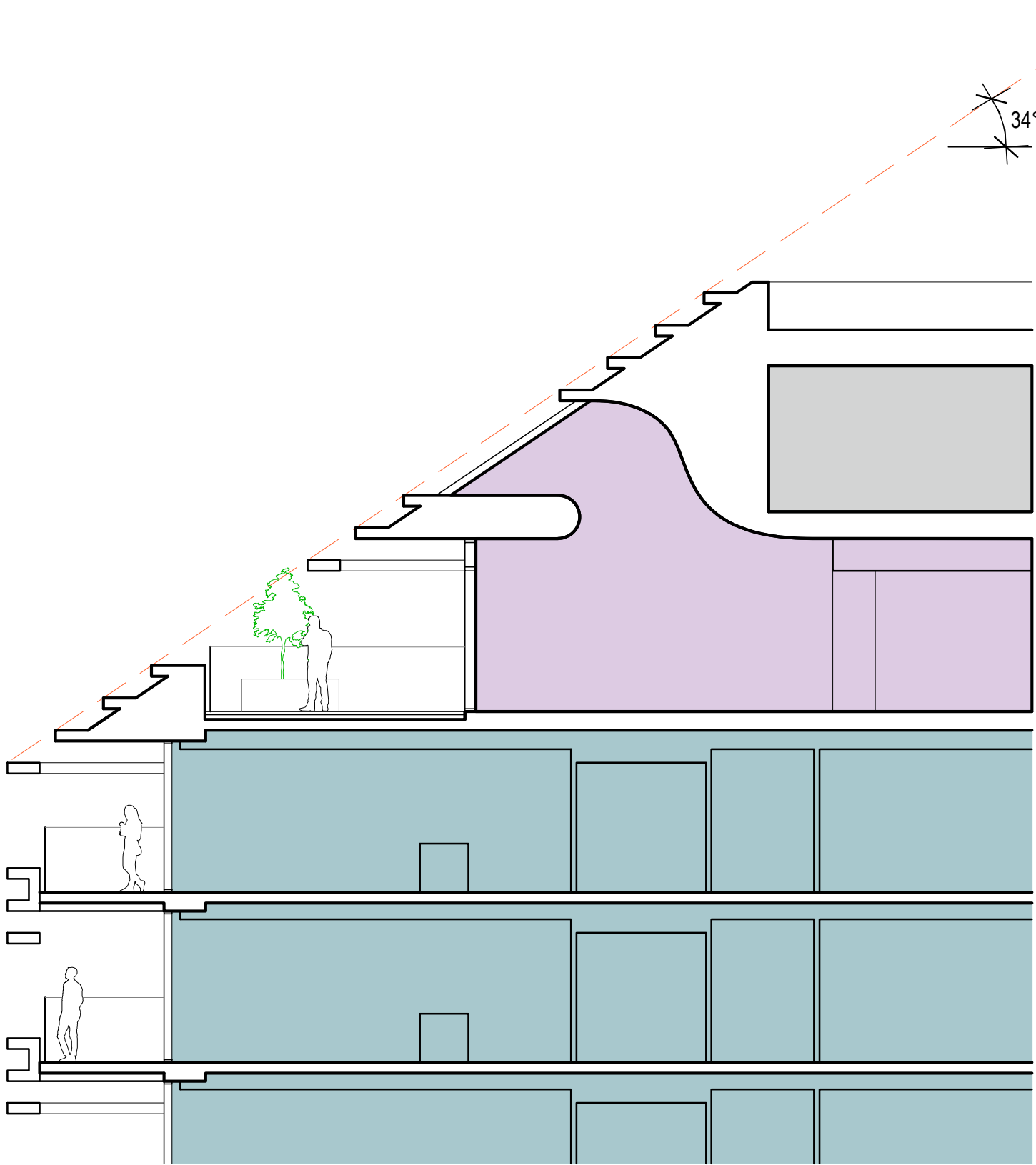
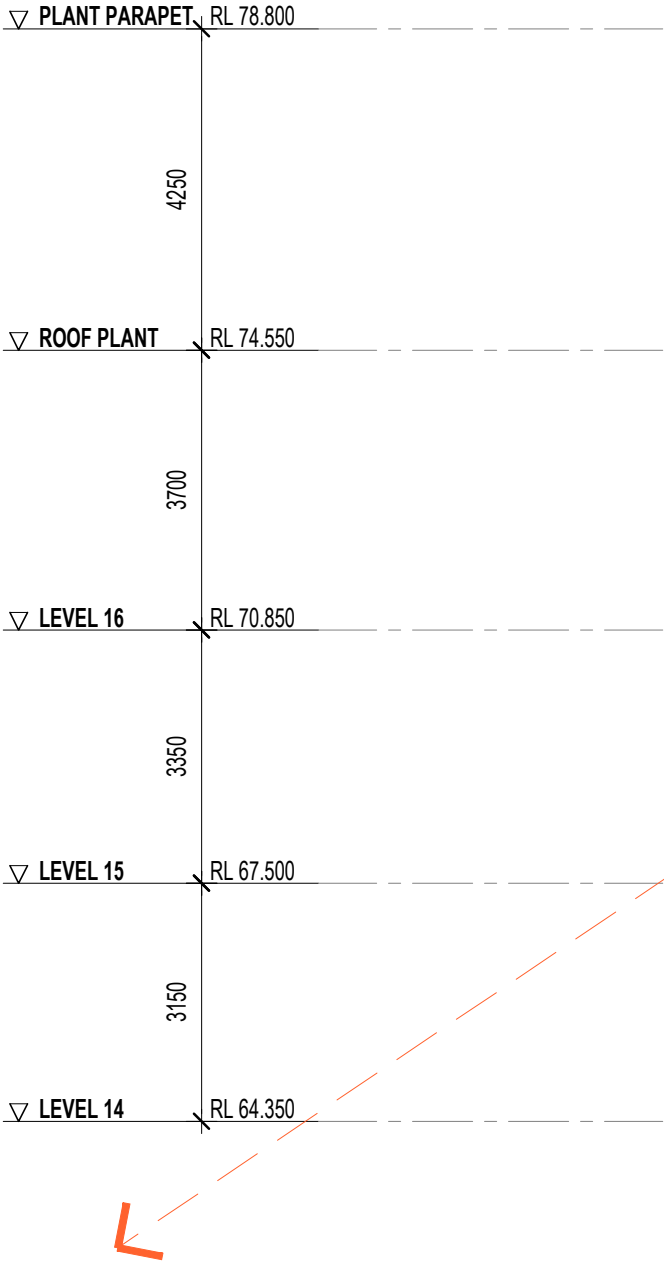
DATE
17-Sep-2021

FILE
SDAU-005-20

GENERAL NOTES

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BOUNDARY



Perth Winter 12pm Solstice
21st June

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

LEGEND

SERVICES / FACILITIES	VEHICULAR CIRCULATION	RETAIL / F & B	RESIDENT COMMUNAL	COMMERCIAL	1 BED + 1 BATH
2 BED + 2 BATH	3 BED + 2 BATH	PENTHOUSE	BALCONY / STORE	LANDSCAPE	POOL

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
SECTION C-C

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_4003

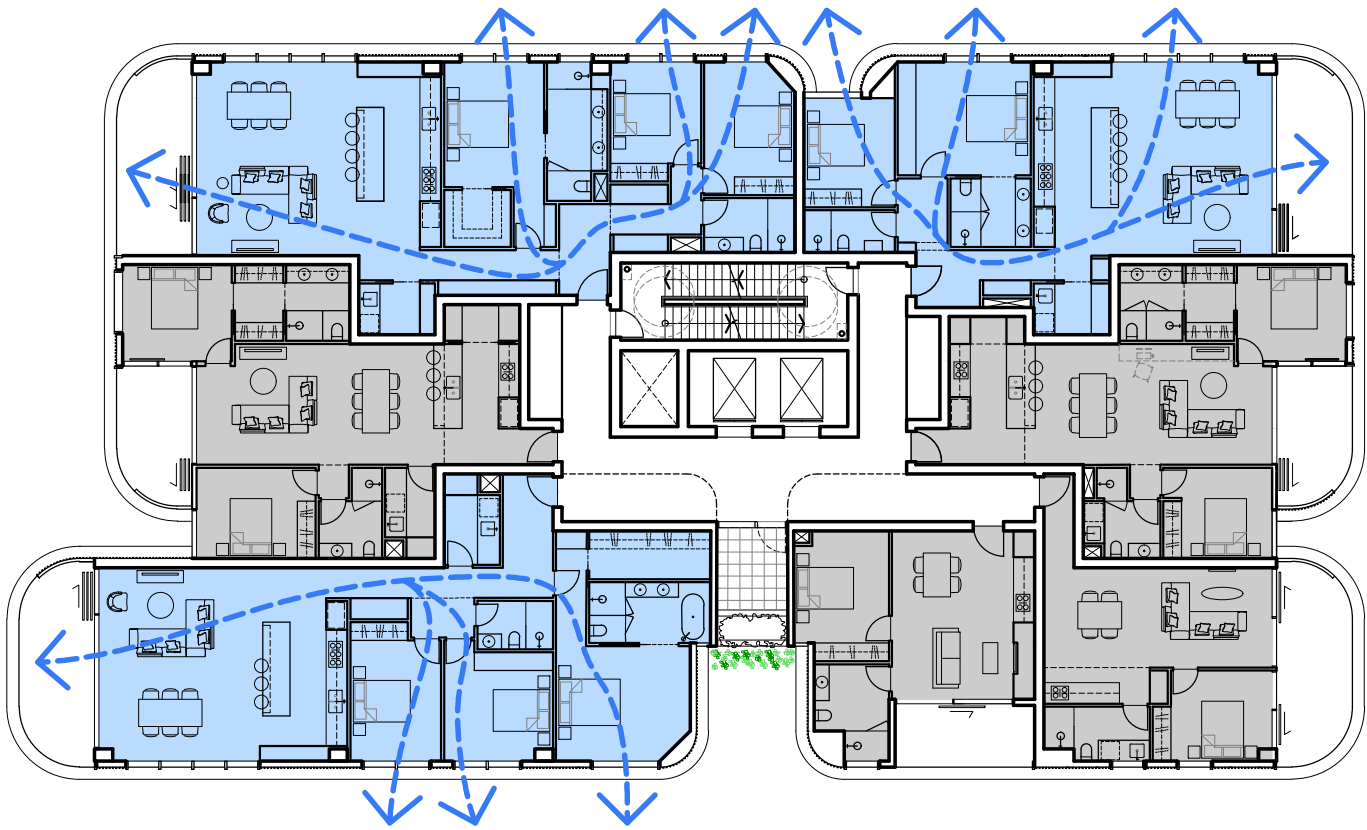
REV.
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DATE
15-07-21

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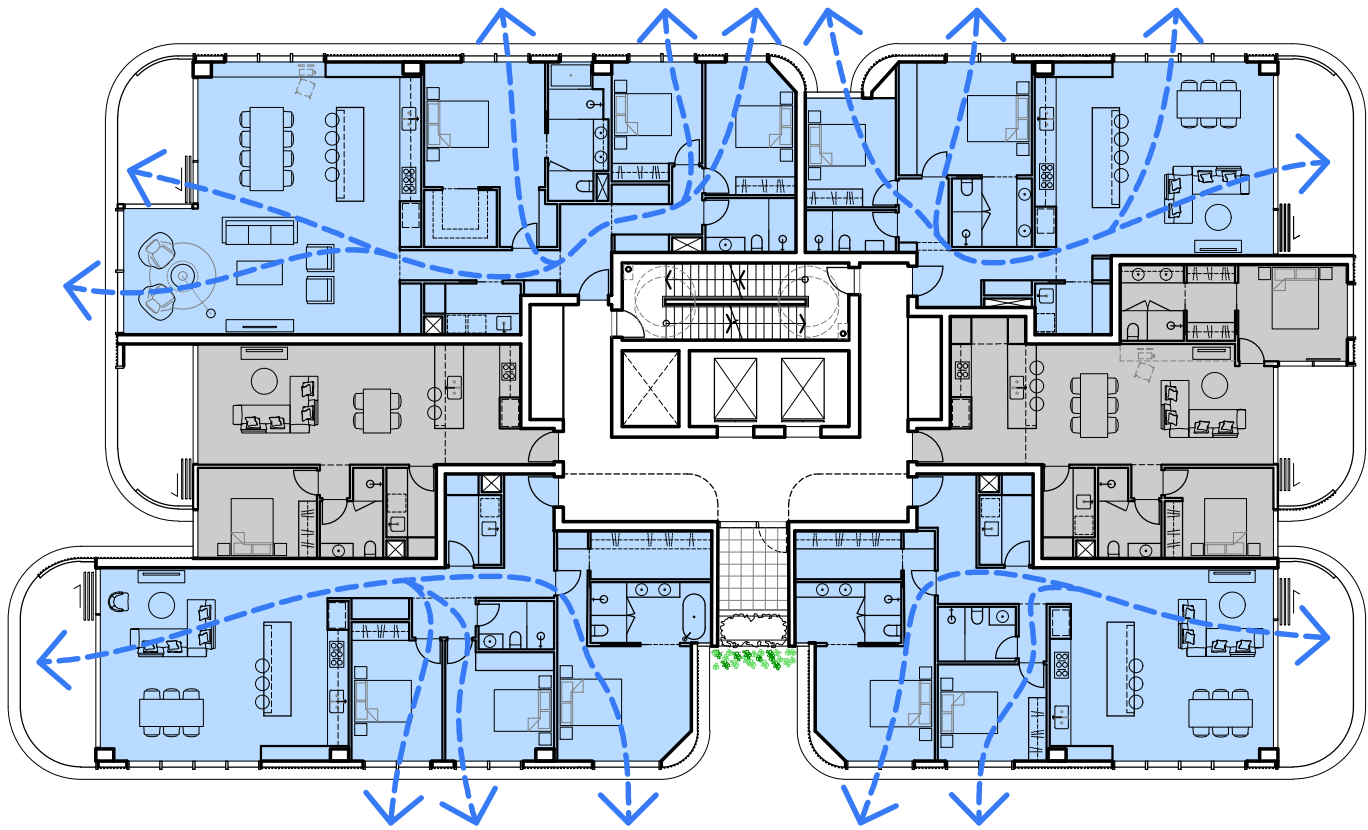
LEGEND

DENOTES UNIT ACHIEVING
NATURAL CROSS VENTILATION

DENOTES UNIT NOT ACHIEVING
NATURAL CROSS VENTILATION



LEVEL 3 - 9



LEVEL 10 - 15

GENERAL NOTES

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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVELS 3 - 9 & 10 - 15
NATURAL VENTILATION

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_5001

REV.
-

DATE
15-07-21

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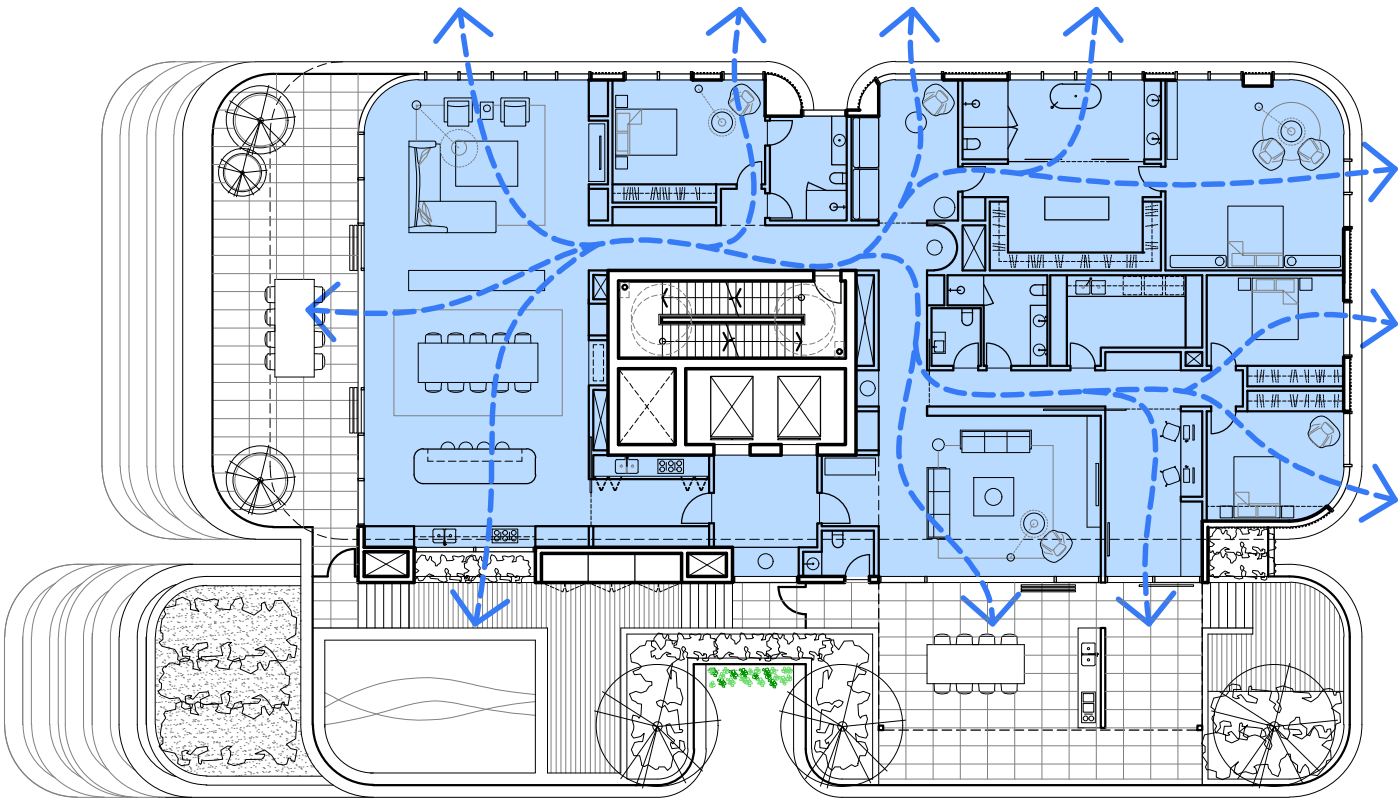
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LEGEND

DENOTES UNIT ACHIEVING
NATURAL CROSS VENTILATION

DENOTES UNIT NOT ACHIEVING
NATURAL CROSS VENTILATION



LEVEL 16

GENERAL NOTES

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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVEL16
NATURAL VENTILATION

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_5002
REV.
-
DATE
15-07-21

SCALE 1:250 @ A3
0 1 5m 10m



LEGEND

DENOTES LIVING SPACE AND PRIVATE OPEN SPACE OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21ST OF JUNE

DENOTES LIVING SPACE AND PRIVATE OPEN SPACE NOT OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21ST OF JUNE



LEVEL 3 - 9



LEVEL 10 - 15

GENERAL NOTES

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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVELS 3 - 9 & 10 - 15
SOLAR & DAYLIGHT ACCESS

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_5003

REV.
-

DATE
15-07-21

SCALE 1:250 @ A3

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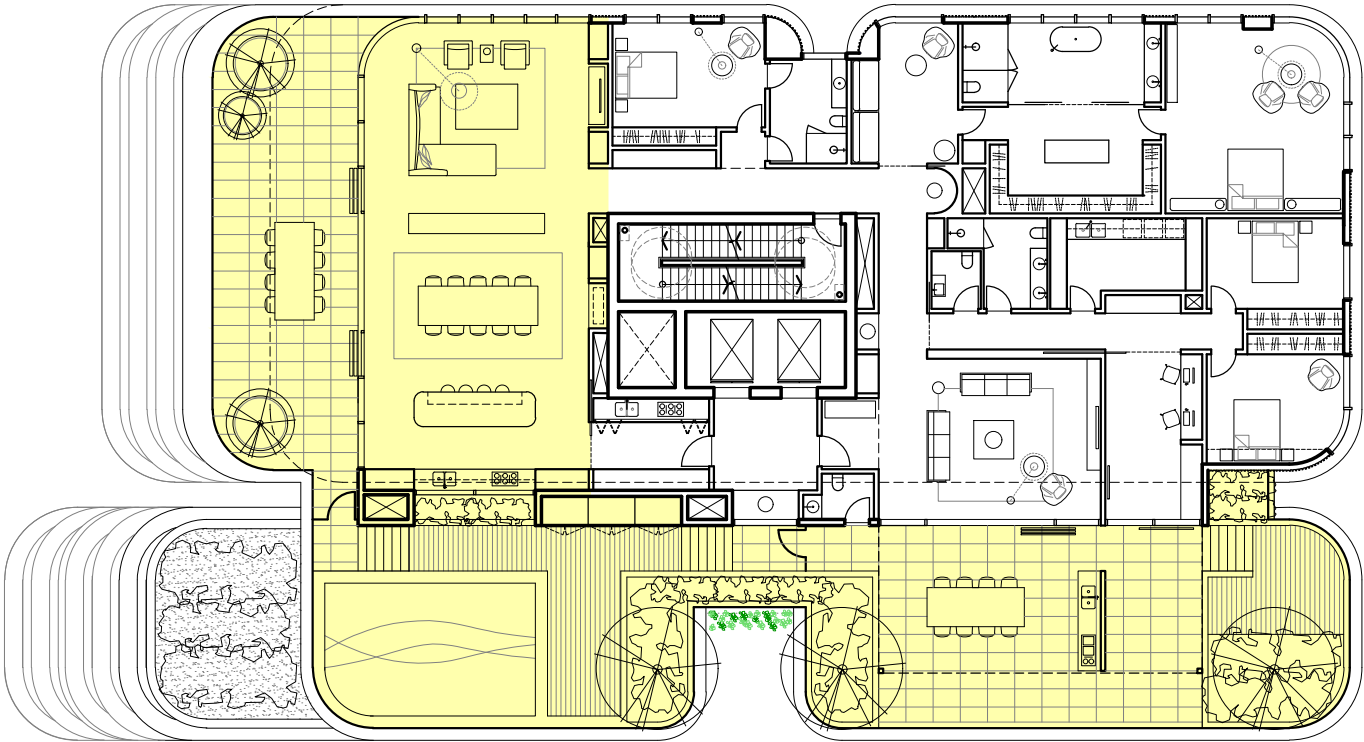
LEGEND

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DENOTES LIVING SPACE AND PRIVATE OPEN SPACE NOT OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21ST OF JUNE

	LEVELS 3-9	LEVELS 10-15	LEVEL 16	OVERALL
NUMBER OF UNITS:	49	36	1	86
NUMBER OF UNITS WITH LIVING SPACE AND PRIVATE OPEN SPACE OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21ST OF JUNE	42	30	1	73
NUMBER OF UNITS WITH LIVING SPACE AND PRIVATE OPEN SPACE NOT OBTAINING LIVING AT LEAST SPACE AND PRIVATE OPEN SPACE OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT BETWEEN 9AM AND 3PM ON 21ST OF JUNE	7	6	-	13

84.88% OF ALL UNITS OBTAINING AT LEAST 2 HOURS OF DIRECT SUNLIGHT TO LIVING SPACE AND PRIVATE OPEN SPACE BETWEEN 9AM AND 3PM ON 21ST OF JUNE



LEVEL 16

GENERAL NOTES

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DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
LEVEL16
SOLAR & DAYLIGHT ACCESS

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_5004

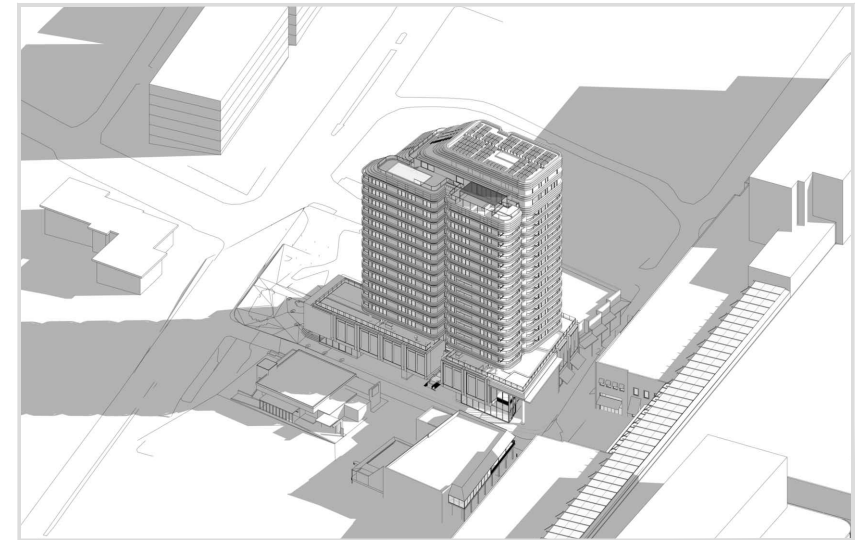
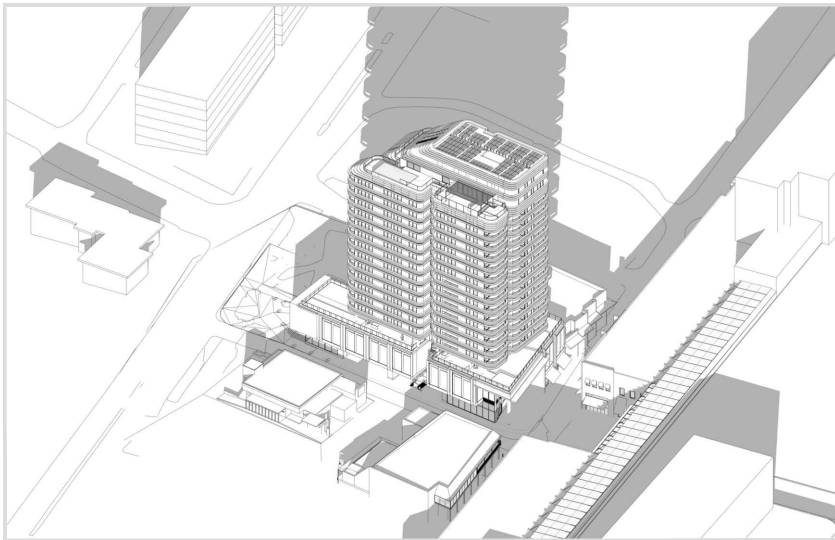
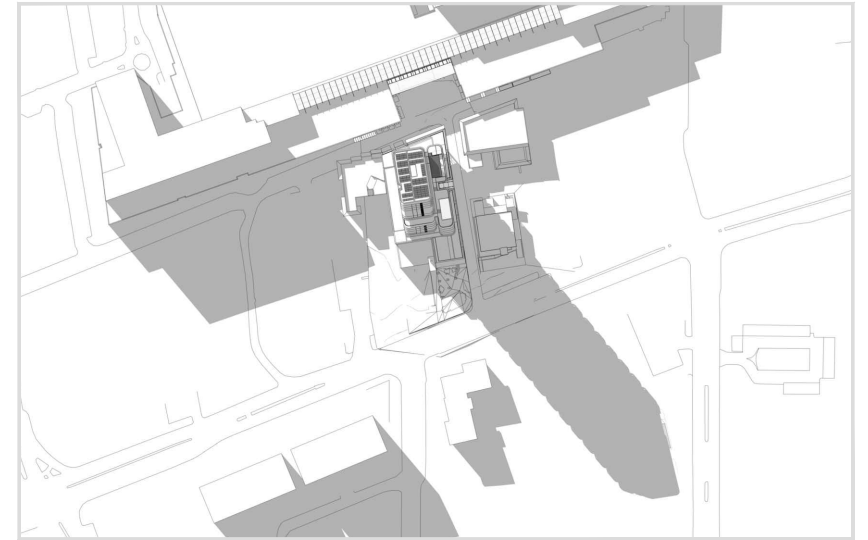
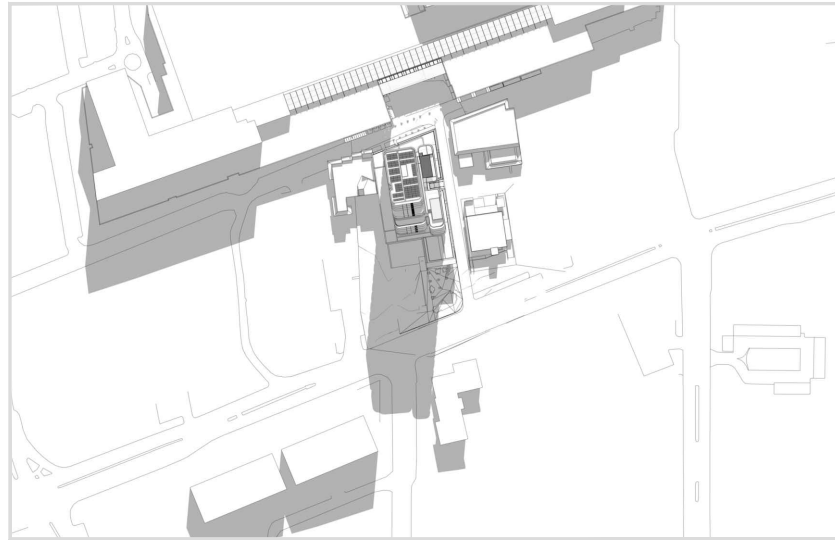
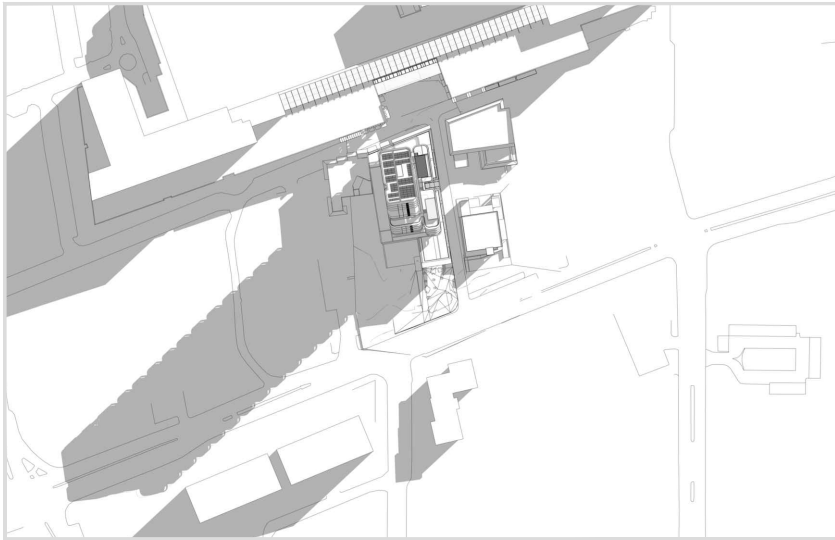
REV.
-

DATE
15-07-21

SCALE 1:250 @ A3

0 1 5m 10m





9am

12pm

3pm

Shadows cast on 21st June

DEPARTMENT OF PLANNING, LANDS AND HERITAGE	
DATE 17-Sep-2021	FILE SDAU-005-20

PENNOCK
ARCHITECTS

PROJECT
CLAREMONT MIXED-USE DEVELOPMENT
22 ST QUENTIN AVENUE, CLAREMONT, WA

TITLE
SHADOW ANALYSIS

STATUS
DEVELOPMENT APPLICATION

SHEET
DA_6001

REV.
-

DATE
15-07-21



22 ST QUENTIN AVENUE, CLAREMONT - YIELD SUMMARY						(29.07.2021) 16 LEVELS (PLUS 4 BASEMENT LEVELS)		PENNOCK ARCHITECTS					
Level	No. of Lvl's	Product Type (Bed x Bath)	Stata Area (m ²)	Balcony/ Courtyard Area (m ²)	Number of Product Type per Floor	Total Strata (m2)	Total Balcony/ Courtyard Area (m ²)	Total Area- Internal + Balcony/ Courtyard (m ²)	Total Service Area- Non Strata Areas (m2)	PRA per Product (m ²)	Plot Ratio Area (m ²)	GFA per Floor	Gross Floor Area (m ²)
Basement 4, 3, 2 & 1	4											1,789	7,154
Ground	1	Retail A / F & B 1	98	0	1	98	0	98	0	116	116	1,342	1,342
		Retail B / F & B 2	242	0	1	242	0	242	0	273	273		
		Retail C / F & B 3	196	0	1	196	0	196	0	216	216		
Level 1	1	Commercial	1,216	0	1	1,216	0	1,216	0	1,326	1,326	1,575	1,575
Level 2	1	Communal	471	910	1	0	910	1,382	0	0	0	624	624
Levels 3 - 9	7	Apartment A (3x2)	138	16	1	964	109	1,074	0	150	1,049	847	5,930
		Apartment B (2x2)	92	11	1	646	77	723	0	101	708		
		Apartment C (3x2)	142	16	1	997	109	1,106	0	154	1,081		
		Apartment D (2x2)	107	16	1	751	109	861	0	118	823		
		Apartment E (2x2)	86	11	1	601	77	678	0	95	664		
		Apartment F (1x1)	51	16	1	356	109	465	0	57	401		
		Apartment G (1x1)	47	9	1	328	66	394	0	53	372		
Levels 10 - 15	6	Apartment H (3x2)	166	11	1	995	80	1,074	0	179	1,075	850	5,097
		Apartment I (1x1)	68	13	1	408	90	497	0	74	446		
		Apartment C (3x2)	142	16	1	855	93	948	0	154	927		
		Apartment D (2x2)	107	16	1	644	94	738	0	118	705		
		Apartment J (2x2)	91	11	1	543	66	609	0	99	595		
		Apartment K (2x2)	114	16	1	683	93	777	0	124	741		
Level 16	1	Penthouse (4x5 + Study)	448	282	1	448	282	730	0	484	484	529	529
Total Apartments					86								
Total Area						10,973	2,364	13,808	0	3,891	12,002		22,252

Yield Per Apartment Type	Apartment Type	1 x 1	2 x 2	3 x 2	Penthouse	Total
	Quantity	20	39	26	1	86

GFA - Gross Floor Area
PRA - Plot Ratio Area

Total Area Non-Residential Spaces	Type	Retail / Food & Beverage	Commercial	Overall Total
	Total m²	536	1,216	1,752

Plot Ratio	Plot Ratio Area	Site Area	Plot Ratio
	12,002	1,952	6.15

Parking - Current Design	Type	Car Bays		Motorcycle	Overall Total
	Quantity	Standard	Universal		
		159	2	54	215

Note: Refer Store Yields Table for Apartment Strata Areas (inclusive of Stores)

PARKING CALCULATIONS

Car Parking - Minimum Required by Authorities	Use	Area of Use (Strata m²) or Quantity of Dwellings	# of Bays p/100m2, p/Dwelling	# of Carparking Spaces per Use	
	Retail / F & B	536	2 per 100m2	10.715	11
	Commercial	1,216	1 per 100m2	12.1614	13
	Residential - 1 Bed	20	0.5 per Dwelling	10	10
	Residential - 2 Bed	39	1 per Dwelling	39	39
	Residential - 3 Bed	26	1 per Dwelling	26	26
	Residential - Penthouse	1	1 per Dwelling	1	1
	Residential - Visitor	1	0 per Dwelling	0	0
	Universal Bays	3	As per BCA requirements	2	2
Total				Required Number of Parking	102
				Current Design Total	161
				Difference	59

Car Parking - Desired	Use	Area of Use (Strata m²) or Quantity of Dwellings	# of Bays p/100m2, p/Dwelling	# of Carparking Spaces per Use	
	Retail / F & B	536	2 per 100m2	10.715	11
	Commercial	1,216	1 per 100m2	12.1614	13
	Residential - 1 Bed (North)	14	0 per Dwelling	14	14
	Residential - 1 Bed (South-East)	6	1 per Dwelling	0	0
	Residential - 2 Bed	39	2 per Dwelling	78	78
	Residential - 3 Bed	26	2 per Dwelling	52	52
	Residential - Penthouse	1	4 per Dwelling	4	4
	Residential - Visitor	1	0 per Dwelling	0	0
Total				Desired Number of Parking	174
				Current Design Total	161
				Difference	-13

Bicycle Parking Minimum Required by Authorities	Use	Area of Use (Strata m²) or Quantity of Dwellings	# of Bays p/100m2, p/Dwelling	# of Carparking Spaces per Use	
	Retail / F & B - Employee	536	1 per 100m2	5.4	6
	Retail / F & B - Visitor	536	1 per 100m2	5.4	6
	Commercial - Employee	1,216	1 per 100m2	12.2	13
	Commercial - Visitor	1,216	1 per 250m2	4.9	5
	Community Asset - Employee	1,752	1 per 100m2	7.0	8
	Community Asset - Visitor	1,752	1 per 100m2	7.0	8
	Residential - Occupant	86	0.5 per dwellings	43.0	43
	Residential - Visitor	86	0.1 per dwellings	8.6	9
Total				Required Number of Parking	98
				Dedicated Bicycle Parking for Retail / Commercial	40
				Residential Bicycle Parking (Located in Store Rooms on Mezz 2)	85
				Current Design Total	125
				Difference	27

Motorcycle or Scooter Parking	Use	Quantity of Car Bays (Including Univseral Bays)	# of Bays p/car bays	# of Carparking Spaces	
	Residential	161	1 space per 10 car bays	16.1	17
Total				Required Number of Parking	17
				Current Design Total	54
				Difference	37

Assumptions:

1. Rates are based on those of the Town of Subiaco (Location A - Activity Centre) not the Town of Claremont as advised by URBIS

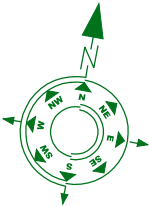
2. R-Codes - Five motorcycle/scooter bays equates to 1 car bay.

3. Current Design Total (parking numbers) based on conceptual drawings only

Notes:

1. No warranty is made as to accuracy or reliability of the information contained herein and Pennock Architects disclaims all liability and responsibility for any direct or indirect loss or damage which may be suffered by any recipient through relying on anything contained in or omitted from the Yields Table.

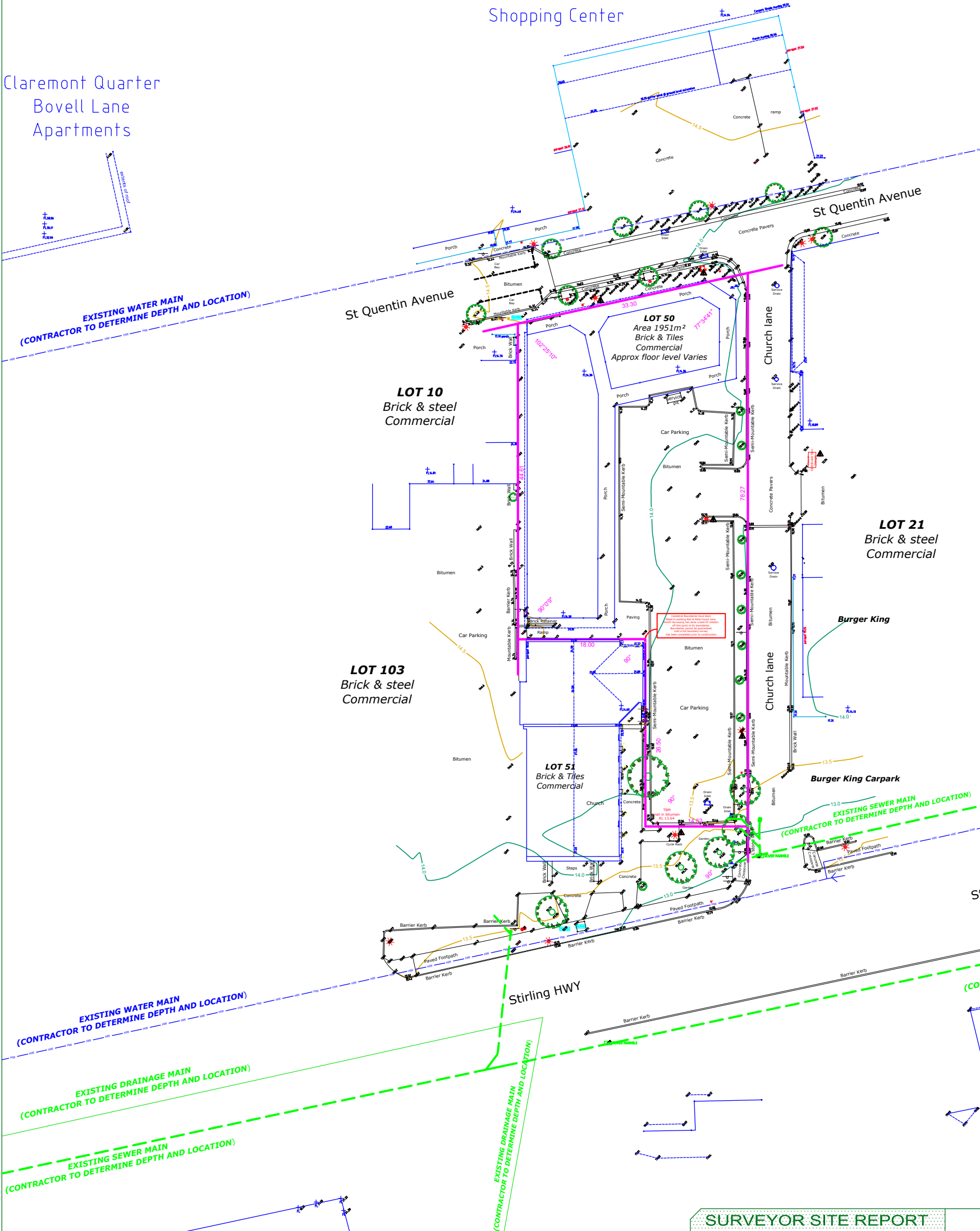
2. The yields provided for parking is indicative only. Final numbers are to be determine by the Client based on Cardno advice.



Claremont Quarter
Bovell Lane
Apartments

LOT 4003
Brick & steel
Commercial

Claremont Quarter
Shopping Center



SURVEY ADDRESS :
LOT 50 (22) St Quentin Avenue, Claremont.

AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE - X2425 R.L. - 12.88

CLIENT / S:
Kuraland
Job No:
PLAN / DIAGRAM No
D 62043
TBM HEIGHT
AHD 13.64
ZS0967_Rev - 2

IMPORTANT NOTES:
All SEWER and WATER details plotted from information supplied by Water Corporation. This information is approximate only and a Cadastral Connection will be required if true sewer location points are required for service works.

IMPORTANT NOTES:
CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED
UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.



NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED.

TOWN OF CLAREMONT

Stirling HWY

DEPARTMENT OF PLANNING, LANDS AND HERITAGE
DATE 17-Sep-2021 FILE SDAU-005-20

LEGEND

- T.B.M. ▲ SEWER MANHOLE □ LARGE TREE
- POWER DOME ● SEWER INSPECT
- TELSTRA FLOOR LEVEL +
- WATER METER Ⓢ DRAIN □ SMALL TREE
- POWER POLE ● SOAKWELL ○ TREE STUMP
- STREET LAMP ● HYDRANT FH WATER LINE
- BOUNDARY BUILDING SEWER LINE

SURVEYOR SITE REPORT

ELECTRICITY: Under Ground	GAS: YES
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey : YES
ROAD: BITUMEN	3D Line work survey : NOT REQUIRED
KERB: (Varies)	
FOOTPATH: Yes	
VEGETATION: ESTABLISHED GARDENS	
SOIL: SAND/GRASS	
VIEWS: ELEVATED	
REPEP: REQUIRED	
AREA: OLD SURVEY AREA	



Zenith Surveying
Land Surveying Solutions